



HILLINGDON
LONDON



Central & South Planning Committee

Date: WEDNESDAY, 12 APRIL
2017

Time: 7.00 PM

Venue: COMMITTEE ROOM 5 -
CIVIC CENTRE, HIGH
STREET, UXBRIDGE UB8
1UW

**Meeting
Details:** Members of the Public and
Press are welcome to attend
this meeting

To Councillors on the Committee

Councillor Ian Edwards (Chairman)
Councillor David Yarrow (Vice-Chairman)
Councillor Shehryar Ahmad-Wallana
Councillor Roy Chamdal
Councillor Alan Chapman
Councillor Jazz Dhillon
Councillor Janet Duncan
Councillor Manjit Khatra
Councillor Brian Stead

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This Agenda is available online at:

<http://modgov.hillingdon.gov.uk/ieListMeetings.aspx?CId=123&Year=0>

Putting our residents first

Lloyd White
Head of Democratic Services
London Borough of Hillingdon,
3E/05, Civic Centre, High Street, Uxbridge, UB8 1UW
www.hillingdon.gov.uk

Useful information for residents and visitors

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It is recommended to give advance notice of filming to ensure any particular requirements can be met. The Council will provide seating areas for residents/public, high speed WiFi access to all attending and an area for the media to report. The officer shown on the front of this agenda should be contacted for further information and will be available to assist.

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A useful guide for those attending Planning Committee meetings

Security and Safety information

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Petitions and Councillors

Petitions - Those who have organised a petition of 20 or more people who live, work or study in the borough, can speak at a Planning Committee in support of or against an application. Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

Ward Councillors - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

Committee Members - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application

Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;
3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant followed by any Ward Councillors;

4. The Committee may ask questions of the petition organiser or of the agent/applicant;
5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal. There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

Agenda

- 12 Lesser Barn, Hubbards Close - 5971/APP/2016/3922

Rebuilding of existing barn with internal and external alterations to create two three-bedroom dwellings with associated parking and landscaping

Recommendation: Approval

- 13 Lesser Barn, Hubbards Close - 5971/APP/2013/1839

Dismantling of existing farm outbuilding and reconstruction to accord with planning application ref: 5971/APP/2016/3922 (Rebuilding of existing barn with internal and external alterations to create two three-bedroom dwellings with associated parking and landscaping) (Application for Listed Building Consent).

Recommendation: Approval

Agenda Item 12

Report of the Head of Planning, Sport and Green Spaces

Address LESSER BARN HUBBARDS CLOSE HILLINGDON

Development: Rebuilding of existing barn with internal and external alterations to create two three-bedroom dwellings with associated parking and landscaping

LBH Ref Nos: 5971/APP/2016/3922

Drawing Nos: Heritage Statement
Heritage Statement Appendix 2: Archaeological Record Drawings of the Lesser Barn
Heritage Statement Appendix 3: 2007 Photographic Survey of the Lesser Barn
Design and Access Statement
Covering Letter/Planning Statement
16092/001
2688-02/MP (Existing Elevations)
2688-01/MP (Existing Ground Floor Plan before Collapse of Lesser Barn)
2688-03/MP Rev. R3 (Proposed Ground Floor Plan)
2688-04/MP Rev. R3 (Proposed First Floor Plan)
2688-14/MP Rev. R3 (Proposed Elevations)
2688-06/MP Rev. R1 (Proposed Section A-A)
2688-05/MP Rev. R1 (Proposed Section B-B)
2688-15/MP
2688-24 (Foundation Detail - Intermediate Floor - Facing Brick Wall)
2688-22 (Eaves Detail - Facing Brick Wall)
2688-21 (Window Head & Cill Wall Details)
2688-20 (External Wall Details - Timber Clad Wall)
2688-19 (Foundation Detail - Intermediate Floor Detail)
2688-18 (Roof Detail - Floor-Wall Junction - Shiplap Clad Wall)
2688-17/MP (Penny Copeland Survey Ground Floor Plan)
2688-16/MP (Penny Copeland Survey Ground Floor Plan)
2688-13/MP Rev. R1 (Eaves Detail)
2688-12/MP (Foundation Detail)
2688-11/MP Rev. R1 (Eaves Detail)
2688-10/MP (Foundation Detail)
2688-09/MP (Ridge Detail)
2688-08/MP Rev. R1 (Window Detail)
2688-07/MP (Specification Notes)
2688-23 (External Wall Details - Facing Brick Wall)
Updated Timber Frame Condition Survey January 2017
Update Report dated 30 January 2017

Date Plans Received: 24/10/2016 **Date(s) of Amendment(s):**

Date Application Valid: 24/10/2016

DEFERRED ON 21st March 2017 FOR FURTHER INFORMATION .

The application was considered at the Central & South Planning Committee held on 21st March 2016. This application is a re-submission of the 2012 approved application ref: 5971/APP/2011/2438, which has since expired. As such, Members proposed to defer the

**Central & South Planning Committee - 12th April 2017
PART 1 - MEMBERS, PUBLIC & PRESS**

application to clarify the legal position on a Listed Building Consent application (ref: 5971/APP/2013/1839) that was linked to an application which had expired.

The associated Listed Building Consent ref: 5971/APP/2013/1839 for the reconstruction of the Grade II Listed Lesser Barn was approved at the Central and South Planning Committee in November 2014 subject to a Section 106 Agreement which has not yet been completed. As such the Listed Building Consent has not been formally granted.

The description of the associated Listed Building Consent ref: 5971/APP/2013/1839 has been amended to refer to this current application for planning permission, removing reference to the expired 2012 approved application ref: 5971/APP/2011/2438 and to ensure that both applications are linked they are both being reported back to the committee for authorisation.

Reason for Urgency

A decision is urgently required to ensure that funding for the project is secured.

1. SUMMARY

The application site comprises of the Grade II Listed Hubbards Farm Lesser Barn. The proposal seeks planning permission for the rebuilding and conversion of the Grade II Listed Lesser Barn into two three-bedroom residential units.

The proposed scheme is a re-submission of the 2012 approved application ref: 5971/APP/2011/2438, which has since expired. The Grade II Listed Lesser Barn was previously used as stables which ceased use in 2000. Since this time the Lesser Barn became increasingly derelict and has now collapsed and has been dismantled by a specialist contractor, recorded and stored on site for reinstatement.

The proposed rebuilding of the Lesser Barn would restore a Grade II Listed Building, reusing existing timbers where possible. The conversion of the re-built barn to two residential dwellings would bring the Grade II Listed Lesser Barn back into use whilst retaining the historic character of the building. The proposed residential units would provide adequate living conditions for future occupiers.

The proposed scheme for the rebuilding and conversion of the Grade II Listed Building to two three-bed residential units would not have a detrimental impact on the character and appearance of the street scene and the Green Belt, or on the residential amenity of future occupiers of the site or neighbouring properties.

The application complies with Policies BE1, EM2 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies AM7, AM14, BE8, BE10, BE13, BE15, BE19, BE20, BE21, BE23, BE24, H4 and OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012). The application is therefore recommended for approval subject to a Section 106 Agreement. The associated Listed Building Consent ref: 5971/APP/2013/1839 has also been recommended for approval subject to a Section 106 Agreement.

2. RECOMMENDATION

That delegated powers be given to the Head of Planning and Enforcement to grant planning permission, subject to any relevant amendments agreed by the Head of Planning and Enforcement and the following:

A. That the Council enters into a legal agreement with the applicant under Section 106 of the 1990 Town & Country Planning Act (as amended) or other appropriate legislation to secure:

1. The Lesser Barn shall be returned to the site and reinstated as part of the works within a specified time frame.

B. That officers be authorised to negotiate and agree the detailed terms of the proposed agreement.

C. If the Legal Agreement has not been finalised within 3 months, under the discretion of the Head of Planning and Enforcement, the application is refused under delegated powers on the basis that the applicant has failed to return and reinstate The Lesser Barn.

D. That if the application is approved, the following conditions be attached:

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 RES4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, 16092/001, 2688-03/MP Rev. R3, 2688-04/MP Rev. R3, 2688-05/MP Rev. R1, 2688-06/MP Rev. R1, 2688-07/MP, 2688-08/MP Rev. R1, 2688-09/MP, 2688-10/MP, 2688-11/MP Rev. R1, 2688-12/MP, 2688-13/MP Rev. R1, 2688-14/MP Rev. R3, 2688-15/MP, 2688-18, 2688-19, 2688-20, 2688-21, 2688-22, 2688-23 and 2688-24 and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the London Plan (2016).

3 M1 Details/Samples to be Submitted

No development shall take place until details and/or samples of all materials, colours and finishes to be used on all external surfaces have been submitted to and approved in writing by the Local Planning Authority.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

4 AR3 Sites of Archaeological Interest - scheme of investigation

No development shall take place until the applicant, their agent or successor in title has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted to and approved in writing by the Local Planning Authority. Thereafter development shall only take place in accordance

with the approved scheme. The archaeological works shall be carried out by a suitably qualified body acceptable to the Local Planning Authority.

REASON

The site is of archaeological interest and it is considered that all evidence of the remains should be recorded in accordance with Policy BE3 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

5 RES12 No additional windows or doors

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved facing 42 and 43 Hubbards Close.

REASON

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

6 RES13 Obscure Glazing

The rooflights facing 42 and 43 Hubbards Close shall be glazed with permanently obscured glass and non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

REASON

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7 RES14 Outbuildings, extensions and roof alterations

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification); no garage(s), shed(s) or other outbuilding(s), nor extension or roof alteration to any dwellinghouse(s) shall be erected without the grant of further specific permission from the Local Planning Authority.

REASON

To protect the character and appearance of the area and amenity of residential occupiers in accordance with policies BE13, BE21, BE23 and BE24 of the Hillingdon Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

8 TL1 Existing Trees - Survey

Prior to any work commencing on site, an accurate survey plan at a scale of not less than 1:200 shall be submitted to and approved in writing by the Local Planning Authority. The plan must show:-

- (i) Species, position, height, condition, vigour, age-class, branch spread and stem diameter of all existing trees, shrubs and hedges on and immediately adjoining the site.
- (ii) A clear indication of trees, hedges and shrubs to be retained and removed.
- (iii) Existing and proposed site levels.
- (iv) Routes of any existing or proposed underground works and overhead lines including their manner of construction.
- (v) Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees and other vegetation to be retained during construction work.

REASON

To enable the Local Planning Authority to assess the amenity value of existing trees, hedges and shrubs and the impact of the proposed development on them and to ensure that the development conforms with Policy BE38 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

9 RES9 Landscaping (including refuse/cycle storage)

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping

- 1.a Planting plans (at not less than a scale of 1:100),
- 1.b Written specification of planting and cultivation works to be undertaken,
- 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate

2. Details of Hard Landscaping

- 2.a Refuse Storage (inc. elevations if appropriate)
- 2.b Cycle Storage (inc. elevations if appropriate)
- 2.c Means of enclosure/boundary treatments (inc. elevations if appropriate)
- 2.d Car Parking Layouts
- 2.e Hard Surfacing Materials
- 2.f External Lighting

3. Schedule for Implementation

4. Other

- 4.a Existing and proposed functional services above and below ground
- 4.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and Policy 5.17 (refuse storage) of the London Plan.

10 H7 Parking Arrangements (Residential)

The parking areas (including where appropriate, the marking out of parking spaces) including any garages and car ports shown on the approved plans, shall be constructed, designated and allocated for the sole use of the occupants prior to the occupation of the development and thereafter be permanently retained and used for no other purpose.

REASON

To ensure that an appropriate level of car parking provision is provided on site in accordance with Policy AM14 of the adopted Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and Chapter 6 of the London Plan (July 2011).

11 ST1 Site Survey and Remediation Scheme

Before any part of this development/conversion is commenced a site survey to assess the land contamination levels shall be carried out to the satisfaction of the Council and a

remediation scheme for removing or rendering innocuous all contaminants from the site shall be submitted to and approved by the Local Planning Authority. The remediation scheme shall include an assessment of the extent of site contamination and provide in detail the remedial measures to be taken to avoid risk to the occupiers and the buildings when the site is developed, including building conversions. All works which form part of this remediation scheme shall be completed before any part of the development is occupied or brought into use (unless otherwise agreed in writing by the Local Planning Authority). The condition will not be discharged until verification information has been submitted for the remedial works.

Any imported material i.e. soil and site won soil shall be tested for contamination levels therein to the satisfaction of the Council.

REASON

To ensure that the occupants and users of the development are not subject to any risks from contamination in accordance with policy OE11 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and London Plan (2016) Policy 5.21 (Contaminated Land).

12 RES15 Sustainable Water Management (changed from SUDS)

No development approved by this permission shall be commenced until a scheme for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate that sustainable drainage systems (SUDS) have been incorporated into the designs of the development in accordance with the hierarchy set out in accordance with Policy 5.15 of the London Plan and will:

- i. provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. include a timetable for its implementation; and
- iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- iv. provide details of water collection facilities to capture excess rainwater;
- v. provide details of how rain and grey water will be recycled and reused in the development.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

REASON

To ensure the development does not increase the risk of flooding in accordance with Policy OE8 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and London Plan (2016) Policy 5.12.

13 ST1 Standard Condition

The communal garden area shall be maintained as such and shall not be subdivided without the prior written consent of the Local Planning Authority.

REASON

In order to provide a satisfactory external amenity space for the occupants in accordance with Policies BE23 and BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

INFORMATIVES

1 I52 **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
BE8	Planning applications for alteration or extension of listed buildings
BE9	Listed building consent applications for alterations or extensions
BE10	Proposals detrimental to the setting of a listed building
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
H4	Mix of housing units
OL4	Green Belt - replacement or extension of buildings
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LPP 3.3	(2016) Increasing housing supply
LPP 3.4	(2015) Optimising housing potential
LPP 3.5	(2016) Quality and design of housing developments
LPP 3.8	(2016) Housing Choice
NPPF1	NPPF - Delivering sustainable development
NPPF12	NPPF - Conserving & enhancing the historic environment
NPPF6	NPPF - Delivering a wide choice of high quality homes
NPPF9	NPPF - Protecting Green Belt land

3 I59 **Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies

appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2016). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

4 I47 Damage to Verge - For Council Roads:

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

5 I2 Encroachment

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

6 I3 Building Regulations - Demolition and Building Works

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

7 I5 Party Walls

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

carry out work to an existing party wall;

build on the boundary with a neighbouring property;

in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning & Community

Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

8 16 Property Rights/Rights of Light

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

9 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance' The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

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The applicant is advised that the four existing parking spaces on the site should be used by contractors for parking during construction works in order to minimise disruption on the highway.

3. CONSIDERATIONS

3.1 Site and Locality

The application site is located on the western side of Hubbards Close and comprises of the Hubbards Farm Lesser Barn. 42-53 Hubbards Close and associated parking is located north-west of the site. An area of parking is located on the southern boundary while the Grade II Listed Hubbards Farm Greater Barn is located on the opposite side of Hubbards Close. The application site is located within an area of Green Belt.

3.2 Proposed Scheme

Planning permission is sought for the rebuilding of a Grade II Listed Barn (Hubbards Farm Lesser Barn) with internal and external alterations to create two three-bedroom dwellings with associated parking and landscaping.

The Lesser Barn was previously used as stables which ceased use in 2000. Since this time the Lesser Barn became increasingly derelict such that it collapsed and has been dismantled by a specialist contractor, recorded and stored on site for reinstatement.

An application for Listed Building Consent is being dealt with under application ref: 5971/APP/2013/1839.

3.3 Relevant Planning History

5971/APP/2007/2137 Greater Barn, Hubbards Farm, Hubbards Close West Drayton Road I
CONVERSION OF MAIN BARN AND OUTBUILDING TO CREATE 1, THREE-BEDROOM, 2, TWO-BEDROOM AND 2, ONE-BEDROOM DWELLING UNITS INVOLVING ALTERATIONS TO EXISTING BARN, ERECTION OF AN EXTENSION TO OUTBUILDING AND RE-SITING OF DETACHED GRANARY BUILDING, TOGETHER WITH ASSOCIATED PARKING, ACCESS AND LANDSCAPING

Decision: 15-01-2008 Approved

5971/APP/2007/2146 Lesser Barn, Hubbards Farm, Hubbards Close West Drayton Road H
CONVERSION OF LESSER BARN TO 2 THREE-BEDROOM DWELLINGS INVOLVING INTERNAL AND EXTERNAL ALTERATIONS TO EXISTING BARN WITH ASSOCIATED PARKING AND LANDSCAPING

Decision: 26-02-2008 Approved

5971/APP/2007/2148 Greater Barn, Hubbards Farm, Hubbards Close West Drayton Road I
Conversion of main barn, with single storey extension to form 1 three-bedroom dwelling, 2 two-bedroom dwellings and 2 one-bedroom dwellings, and provision of 6 parking spaces within courtyard (Application for Listed Building Consent).

Decision: 15-01-2008 Approved

5971/APP/2007/2177 Lesser Barn, Hubbards Farm, Hubbards Close West Drayton Road H
CONVERSION OF BARN TO TWO THREE BEDROOM DWELLINGS INVOLVING INTERNAL AND EXTERNAL ALTERATIONS TO EXISTING BARN WITH ASSOCIATED PARKING AND LANDSCAPING (APPLICATION FOR LISTED BUILDING CONSENT)

Decision: 26-02-2008 Approved

5971/APP/2011/2438 Lesser Barn Hubbards Close Hillingdon
Conversion of lesser barn to two three-bedroom dwellings involving internal and external alterations to existing barn with associated parking and landscaping.

Decision: 18-04-2012 Approved

5971/APP/2011/2439 Greater Barn, Hubbards Farm, Hubbards Close West Drayton Road I
Conversion of main barn and outbuilding to create 1 three-bedroom, 2 two-bedroom and 2 one-bedroom dwelling units, involving alterations to existing barn, erection of an extension to outbuilding and re-siting of detached granary building together with associated access, parking

and landscaping.

Decision: 18-04-2012 Approved

5971/APP/2012/121 Greater Barn, Hubbards Farm, Hubbards Close West Drayton Road I
Conversion of main barn and outbuilding to create 1 three-bedroom, 2 two-bedroom and 2 one bedroom dwelling units, involving alterations to existing barn, erection of an extension to outbuilding and re-siting of detached granary building together with associated access, parking and landscaping (Listed Building Consent)

Decision: 18-04-2012 Approved

5971/APP/2012/122 Lesser Barn, Hubbards Farm, Hubbards Close West Drayton Road H
Conversion of Lesser barn to two 3-bedroom dwellings, involving internal and external alteration to existing barn, with associated parking and landscaping (Application for Listed Building Consent).

Decision: 18-04-2012 Approved

5971/APP/2013/1839 The Lesser Barn Hubbards Close Hillingdon
Dismantling of existing farm outbuilding and reconstruction to accord with planning application ref 5971/APP/2016/3922 (Rebuilding of existing barn with internal and external alterations to create two three-bedroom dwellings with associated parking and landscaping) (Application for Listed Building Consent).

Decision: 21-05-2015 Approved

5971/APP/2013/2831 Greater Barn, Hubbards Farm, Hubbards Close West Drayton Road I
Dismantling and rebuilding of existing barn and extension to provide 7 self contained flats with associated external works and landscaping

Decision: 21-05-2015 Approved

5971/APP/2014/1168 Greater Barn, Hubbards Farm, Hubbards Close West Drayton Road I
Listed Building Consent for the dismantling and rebuilding of existing barn and extension to provide 7 self contained flats.

Decision: 21-05-2015 Approved

Comment on Relevant Planning History

The associated Listed Building Consent ref: 5971/APP/2013/1839 for the reconstruction of the Grade II Listed Lesser Barn was approved at the Central and South Planning Committee in November 2014 subject to a Section 106 Agreement. Due to a change in ownership of the application site, the Section 106 Agreement has not yet been completed. This application is thus being reported back to this committee to ensure that both

applications are linked.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.BE1 (2012) Built Environment
- PT1.EM2 (2012) Green Belt, Metropolitan Open Land and Green Chains
- PT1.HE1 (2012) Heritage

Part 2 Policies:

- AM7 Consideration of traffic generated by proposed developments.
- AM14 New development and car parking standards.
- BE8 Planning applications for alteration or extension of listed buildings
- BE9 Listed building consent applications for alterations or extensions
- BE10 Proposals detrimental to the setting of a listed building
- BE13 New development must harmonise with the existing street scene.
- BE15 Alterations and extensions to existing buildings
- BE19 New development must improve or complement the character of the area.
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE22 Residential extensions/buildings of two or more storeys.

- BE23 Requires the provision of adequate amenity space.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- H4 Mix of housing units
- OL4 Green Belt - replacement or extension of buildings
- HDAS-LAY Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
- LPP 3.3 (2016) Increasing housing supply
- LPP 3.4 (2015) Optimising housing potential
- LPP 3.5 (2016) Quality and design of housing developments
- LPP 3.8 (2016) Housing Choice
- NPPF1 NPPF - Delivering sustainable development
- NPPF12 NPPF - Conserving & enhancing the historic environment
- NPPF6 NPPF - Delivering a wide choice of high quality homes

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

Consultation letters were sent to 49 local owners/occupiers. One response was received:

- i) will there be additional parking for builders and would this become resident only parking?
- ii) may cause congestion to the local area/roads
- iii) how will builders ensure minimum disruption to residents during construction?
- iv) what will be the hours of work during construction?
- v) will there be a site manager appointed for the development?

Historic England:

The Grade II Listed Lesser Barn at Hubbards has been on the Heritage at Risk register for several years, and has now collapsed entirely. This application is a re-submission of a previous approved scheme to rebuild the barn for residential use.

As raised at the time of the previous consents for listed building and planning consent in 2013/14, we reiterate the need to ensure through a legal agreement that the timbers are returned to site and rebuilt, following the removal, detailed inspection and repair of salvaged timbers. We also recommend that a clear methodology for the process of removal, repair, return and reconstruction of the frame is provided, particularly given the current collapsed state of the barn.

Given the current state of the site, and subject to this legal agreement and a detailed method statement for the treatment of the historic timbers, we are content that the scheme would be an appropriate solution.

Recommendation

We would urge you to address the above issues, and recommend that the application should be determined in accordance with national and local policy guidance, and on the basis of your specialist conservation advice. It is not necessary for us to be consulted again.

Please note that this response relates to historic building and historic area matters only. If there are any archaeological implications to the proposals it is recommended that you contact the Greater London Archaeological Advisory Service for further advice.

Internal Consultees

Conservation Officer:

This will replace the previous approval and needs to be linked with the latest agreed, but not yet issued, Listed Building Consent and the still in draft S106 Agreement. No objection.

Environmental Protection Unit:

No objection to the planning application. Please add control of environmental nuisance from construction work informative.

Highways:

This application is for the conversion of an existing listed Lesser Barn site to create 2 x 3 bed dwellings in Hubbards Close Hillingdon. There have been previous approvals on this site for the conversion of the barn for 2 x 3 bed dwellings. Hubbards Close is a local road on the Council's road network. The site has a PTAL value of 1b (poor) which suggests there will be a strong reliance on private cars for trip making. There are no waiting restrictions in the area as the majority of local housing has access to off-street parking.

The proposals include 4 off-street car parking spaces which is supported. The proposals will add to the existing traffic in the area but the changes will be relatively small. There will have to be changes to the existing access to the site but these can be made at the applicant's expense.

There is no information available in the application regarding the 4 secure covered cycle parking spaces required nor the refuse/recycling facilities that should be provided within 10m of the existing highway. Both of these items can be condition if you are of mind to recommend approval.

On the basis of the above remarks I do not have significant highway concerns over the above application.

Trees/Landscape Officer:

This site is occupied by a walled plot which formerly accommodated a timber barn, the remains of which are being stored within the site. The site is flat and there are no trees or other vegetation which might pose a constraint on development.

If the proposed development is recommended for approval, landscape conditions should be imposed to ensure that the development contributes to the character and appearance of both the barn and the wider area.

No objection subject to condition RES9 (landscaping) (parts 1, 2, 5 and 6)

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The use of the Lesser Barn for residential purposes has already been established in principle, following approval of the original application (ref: 5971/APP/2007/2146) in 2008, and the approval of the subsequent resubmission application (ref: 5971/APP/2011/2438) in April 2012, for two residential units. The 2012 planning permission (ref: 5971/APP/2011/2438) has now expired.

Policy H4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) seeks to provide a mix of housing units of different sizes within residential schemes. The current proposal would rebuild the Grade II Listed Lesser Barn and provide two three-bed dwellings. It is considered that the mix of unit sizes would be acceptable within this area.

Issues relating to the impact upon the visual and residential amenity of the area and the Green Belt, the living conditions of future occupiers, and the highways impacts have been discussed elsewhere in this report.

7.02 Density of the proposed development

Not applicable for this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Policy BE8 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) will not permit applications to alter or extend Listed Buildings where damage may be

caused to the historic structure. External and internal alternations should harmonise with their surroundings. Policy BE10 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) will not grant permission for proposals that are detrimental to the setting of the Listed Building.

The Lesser Barn is a Grade II Listed Building which has now collapsed; the barn has been dismantled by a specialist contractor, recorded and stored on site for reinstatement; in January 2017 the specialist contractor carried out an updated survey to assess the current condition of the timber frame. The proposed scheme seeks to rebuild and restore the Grade II Listed Lesser Barn in order to allow for its conversion into two three-bedroom dwellings with associated parking and landscaping.

The Conservation Officer has no objection to the proposal which will restore a Grade II Listed Building, reusing the salvaged timbers wherever possible and introducing new timbers where they have been lost. The structural integrity of the timber frame will be restored and will form the core of the new structure.

The full impact of the proposed scheme on the Grade II Listed Lesser Barn has been dealt with through the concurrent Listed Building Consent application (ref: 5971/APP/2013/1839)

7.04 Airport safeguarding

Not applicable for this application.

7.05 Impact on the green belt

Policy OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) does not permit developments in the Green Belt that would injure the visual amenity of the Green Belt by their siting, materials and design.

The derelict appearance of the site, which is increased by the fact that the Lesser Barn has collapsed, causes harm to the visual amenity of the surrounding Green Belt. The proposed scheme would rebuild and restore the Lesser Barn to an acceptable appearance which would improve the visual impact of the site, thereby resulting in an improvement to the visual amenity of the site and the surrounding Green Belt.

The proposal complies with Policy OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.07 Impact on the character & appearance of the area

At the time of the original and subsequent planning applications (refs: 5971/APP/2007/2146 and 5971/APP/2011/2438) the Lesser Barn was in a derelict state, with only the timber frame remaining. Since 2012, the Lesser Barn has collapsed, and as such, the site has had an unsightly impact on the existing street scene and the residential nature of the surrounding area. The proposed scheme seeks to rebuild and restore the existing barn and convert into two residential dwellings which will improve the street scene by restoring the derelict/collapsed barn to an acceptable appearance in compliance with Policies BE13 and BE15 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.08 Impact on neighbours

Policy BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) seeks to ensure that new development within residential areas compliments or improves the amenity and character of the area. Policies BE20 and BE21 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and HDAS: 'Residential Layouts' seek to ensure that new developments maintain and allow adequate levels of daylight and sunlight to penetrate into and between them. Furthermore these policies state that planning permission will not be granted for new developments which by reason of their siting, bulk

and proximity, would result in a significant loss of residential amenity.

The scheme would restore the collapsed barn to the height, width and length of the Lesser Barn prior to collapse and so the building would have a similar relationship with the surrounding dwellings in regards to scale, bulk and proximity. Currently the site has an unsightly impact on the residential nature of the surrounding area due to the derelict nature of the site; it is considered that restoration of the Lesser Barn would improve the residential amenity of the site, and so the proposed scheme complies with Policies BE19, BE20 and BE21 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

Policy BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) requires the design of new developments to protect the privacy of neighbouring dwellings.

Due to the orientation of the building there would not be an issue of overlooking of neighbouring properties to the north and south of the site. In regards to the rear elevation, there are two rooflights that face onto 42 and 43 Hubbards Close. These rooflights should be obscure glazed in order to prevent overlooking of the neighbouring properties and to accord with Policy BE24 of the Hillingdon Unitary Local Plan: Part Two - Saved UDP Policies (November 2012), it is considered that this can be dealt with by way of a condition on any consent granted.

7.09 Living conditions for future occupiers

Internal Floor Space:

Policy 3.5 of the London Plan sets out minimum internal floor space standards for residential dwellings. Three-bed six person dwellings require 102sq.m of internal floor space. One of the proposed dwellings would be provided with 128sq.m of internal floor space and so complies with Policy 3.5 of the London Plan. Whilst the internal floor space of the other dwelling would fall below the recommended 102sq.m, providing some 95sq.m of internal floor space, in this instance it is considered to be acceptable given the need to restore the Grade II Listed Building.

External Amenity Space:

Policy BE23 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) states that residential developments should provide adequate external amenity space for occupants. The Council's HDAS: Residential Layouts SPD sets out minimum guidelines for the amount of external amenity space for dwellings. Three-bed dwellings should be provided with 60sq.m of external amenity space.

The proposal would provide two three-bed dwellings and so would require 120sq.m of external amenity space. The development would be provided with 271sq.m of external amenity space, thereby complying with Policy BE23 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the Council's HDAS: Residential Layouts SPD.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Policy AM7 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) considers whether the traffic generated by proposed developments is acceptable in terms of the local highway and junction capacity, traffic flows and conditions of general highway or pedestrian safety. Policy AM14 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) seeks to ensure that all development is in accordance with the Council's adopted Car Parking Standards.

The Council's Car Parking Standards require the provision of two parking spaces per

residential dwelling. The proposal would provide four off-street parking spaces located on the southern part of the site and would use an existing vehicular crossover. The proposed scheme therefore provides two parking spaces per dwellings in accordance with the Council's Car Parking Standards.

The Council's Highways Engineer has assessed the proposed development and considers that subject to conditions relating to cycle and refuse storage, the proposal would be acceptable in regards to parking and traffic generation. As such, the proposal complies with Policies AM7 and AM14 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.11 Urban design, access and security

Urban design:
See Section 7.03 of this report.

Access and security:
Secure by Design principles have been incorporated within the Building Regulations and so a Secure by Design condition is no longer required.

7.12 Disabled access

Lifetime Homes Standards have been incorporated within the Building Regulations and so a Lifetime Homes condition is no longer required.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, landscaping and Ecology

Policy BE38 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) seeks to retain and utilise topographical and landscape features of merit and provide new planting and landscaping when appropriate.

The application site does not contain any landscaping features of merit and the proposed scheme has not provided full landscaping details. However, the Council's Trees/Landscape Officer considers that subject to the provision of tree and landscaping conditions, the application is acceptable in terms of Policy BE38 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.15 Sustainable waste management

Refuse should be stored within an enclosed bin store which should be located near to the highway. Details of refuse storage can be dealt with by way of a condition on any consent granted.

7.16 Renewable energy / Sustainability

In March 2015 the Government removed the requirement for new dwellings, with the exception of 'legacy cases' to comply with the Code for Sustainable Homes. As such, the proposed development is not required to achieve Code for Sustainable Homes.

7.17 Flooding or Drainage Issues

The application site is not located within a flood zone and it is considered that adequate drainage details can be provided by way of a sustainable drainage condition on any consent granted.

7.18 Noise or Air Quality Issues

Not applicable to this application.

7.19 Comments on Public Consultations

One response was received during the public consultation raising queries over construction and traffic congestion.

Point i) refers to parking during construction and whether it would become resident only parking. There are four existing parking spaces behind existing hoarding around the site which would be retained for use of the proposed dwellings. No additional parking is proposed as the four existing parking spaces are considered adequate for the development. An informative advising that the existing parking spaces should be used for parking by contractors during construction works is recommended.

In regards to Point ii), the impact on traffic has been discussed elsewhere in this report.

Points iii) and iv) refer to minimising disruption during construction and hours of work. This is covered by separate environmental legislation which is set out in the Control of Environmental Nuisance from Construction Work Informative.

Point v) relates to whether there will be a site manager for the development. It would be down to the developer to provide a site manager, which is likely given the type of development proposed and the historical nature of this Grade II Listed site.

7.20 Planning obligations

As the proposal is for two new dwellings, the scheme would be Mayoral CIL Liable. The London Borough of Hillingdon falls within Charging Zone 2, therefore, a flat rate fee of £35 per square metre would be required for each net additional square metre added to the site as part of the development.

The proposal would also be liable under the London Borough of Hillingdon's Community Infrastructure Levy (CIL), which was introduced in August 2014. The charging schedule requires a fee of £95 per square metre for residential developments.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

None

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing

the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

The application site comprises of the Grade II Listed Hubbards Farm Lesser Barn. The proposal seeks planning permission for the rebuilding and conversion of the Grade II Listed Lesser Barn into two three-bedroom residential units.

The proposed scheme is a re-submission of the 2012 approved application ref: 5971/APP/2011/2438, which has since expired. The Grade II Listed Lesser Barn was previously used as stables which ceased use in 2000. Since this time the Lesser Barn became increasingly derelict and has now collapsed and has been dismantled by a specialist contractor, recorded and stored on site for reinstatement.

The proposed rebuilding of the Lesser Barn would restore a Grade II Listed Building, reusing existing timbers where possible. The conversion of the re-built barn to two residential dwellings would bring the Grade II Listed Lesser Barn back into use whilst retaining the historic character of the building. The proposed residential units would provide

adequate living conditions for future occupiers.

The proposed scheme for the rebuilding and conversion of the Grade II Listed Building to two three-bed residential units would not have a detrimental impact on the character and appearance of the street scene and the Green Belt, or on the residential amenity of future occupiers of the site or neighbouring properties.

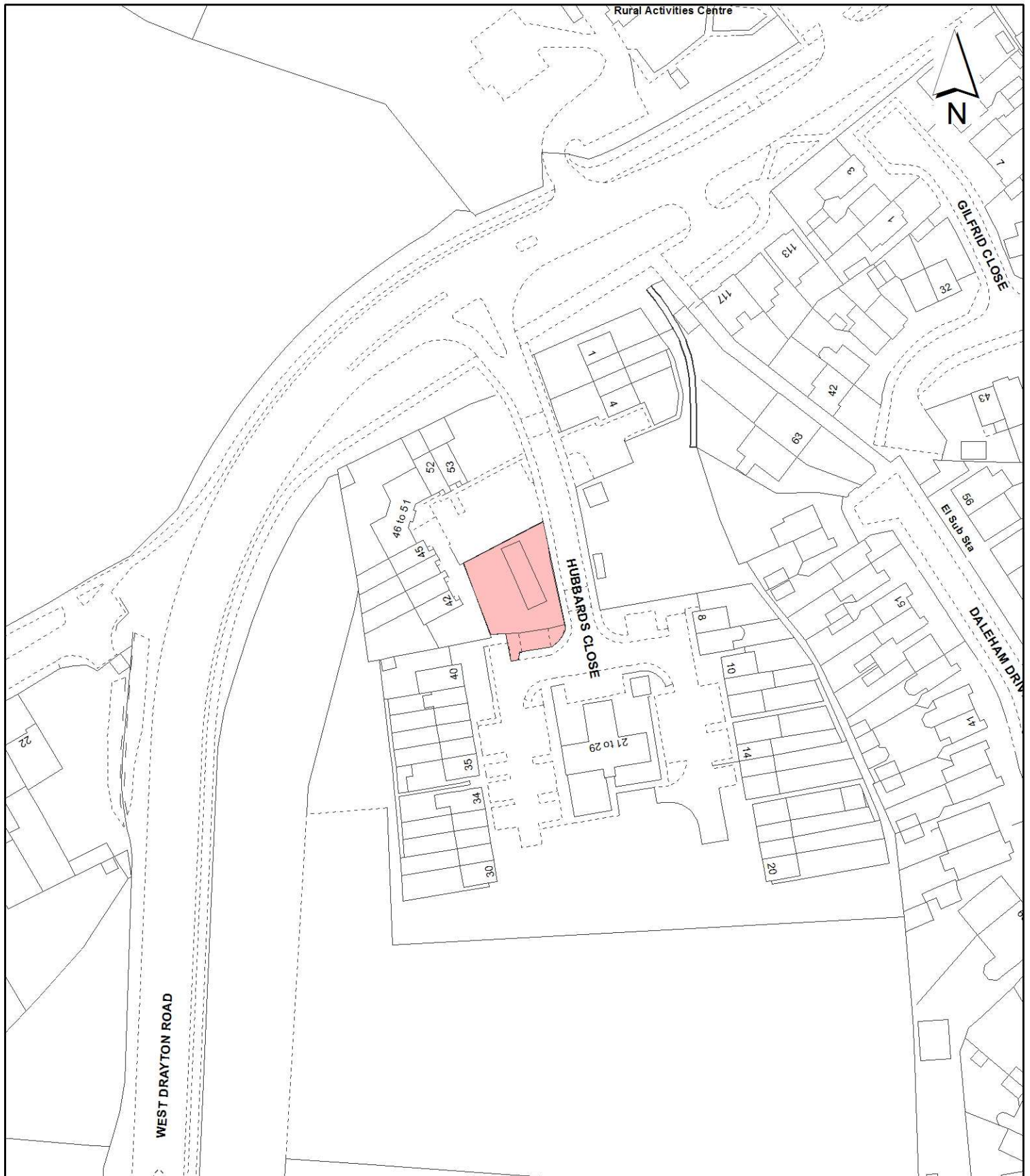
The application complies with Policies BE1, EM2 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies AM7, AM14, BE8, BE10, BE13, BE15, BE19, BE20, BE21, BE23, BE24, H4 and OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012). The application is therefore recommended for approval subject to a Section 106 Agreement. The associated Listed Building Consent ref: 5971/APP/2013/1839 has also been recommended for approval subject to a Section 106 Agreement.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)
The London Plan (2016)
HDAS: Residential Layouts SPD
HDAS: Accessible Hillingdon SPD
National Planning Policy Framework

Contact Officer: Katherine Mills

Telephone No: 01895 250230



Notes:

 Site boundary

For identification purposes only.
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Site Address:

**Lesser Barn,
 Hubbards Close**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
5971/APP/2016/3922

Scale:
1:1,250

Planning Committee:
Central & South
 Page 21

Date:
February 2017



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Report of the Head of Planning, Sport and Green Spaces

Address LESSER BARN HUBBARDS CLOSE HILLINGDON

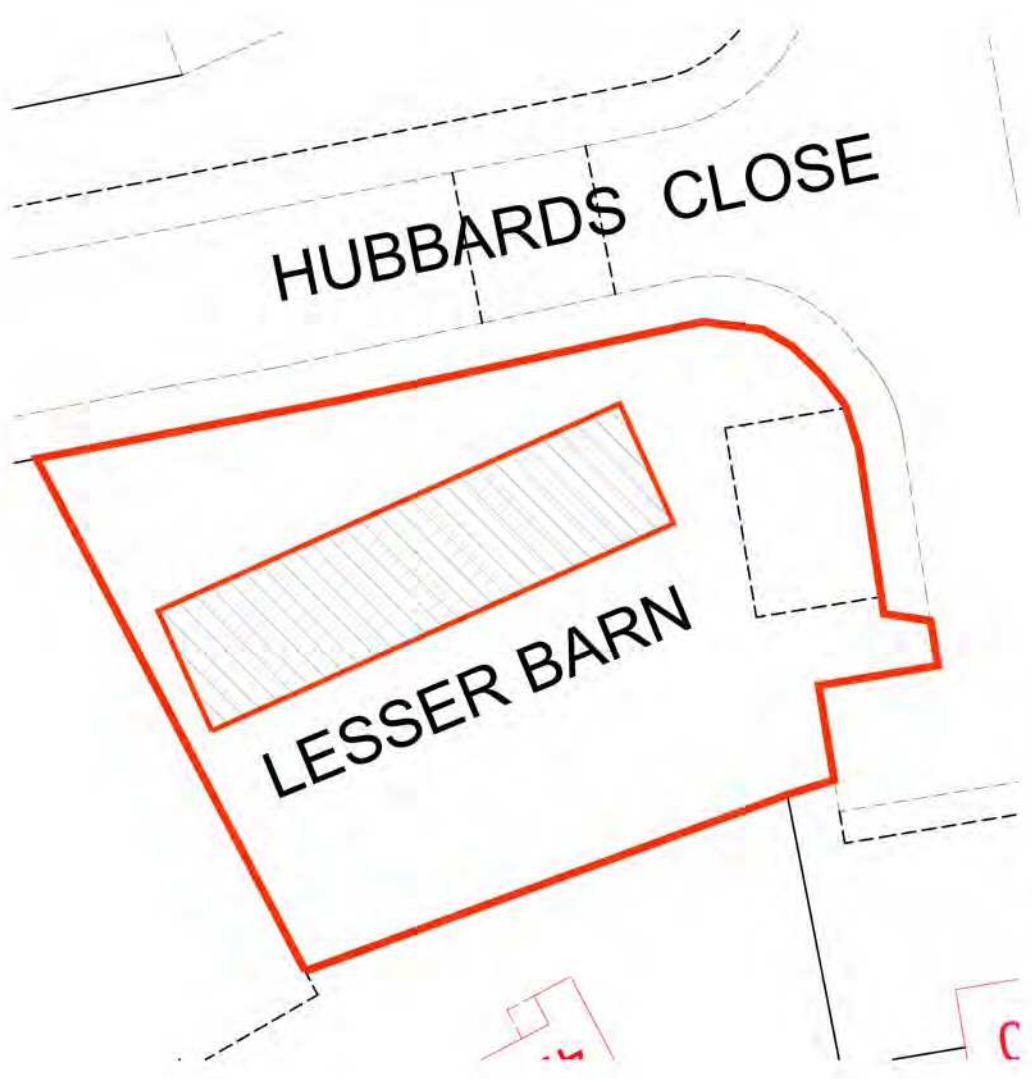
Development: Rebuilding of existing barn with internal and external alterations to create two three-bedroom dwellings with associated parking and landscaping

LBH Ref Nos: 5971/APP/2016/3922

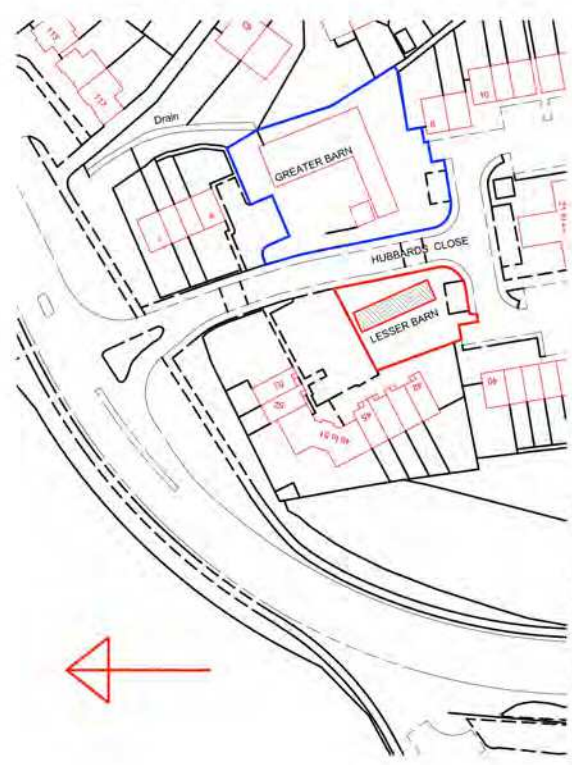
Date Plans Received: 24/10/2016

Date(s) of Amendment(s):

Date Application Valid: 24/10/2016



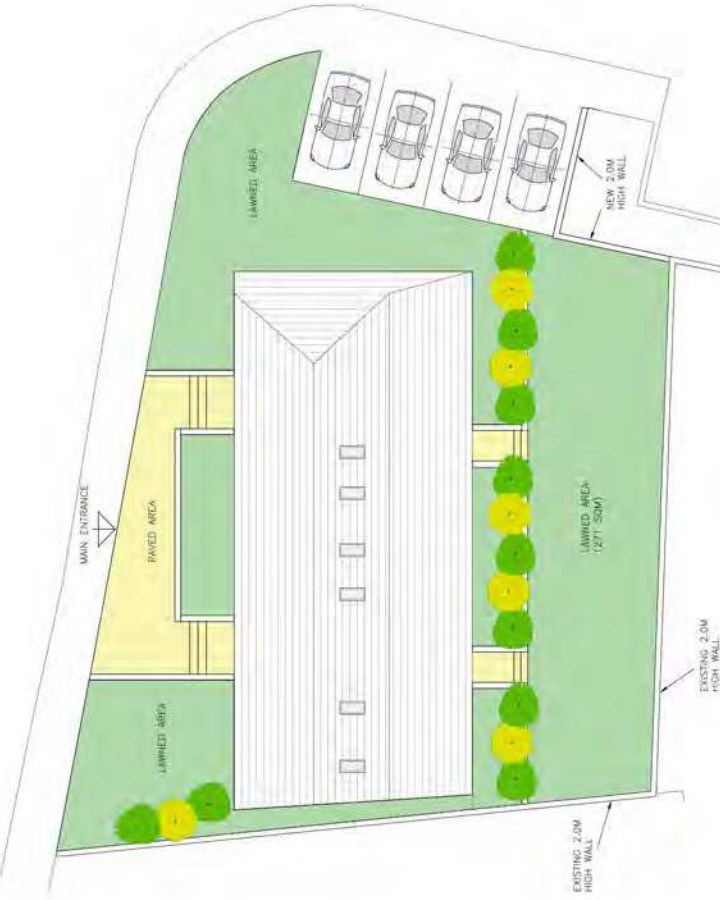
Site Block Plan i:200



Site Location Plan i:1250

	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Site Location Plan Site Block Plan	Scale: 1:100 @ A3 Date: 05 2013 Drawing No.: 2688 - 15/MP Revision
	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		

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SITE PLAN
SCALE 1:100

REFERENCE DRAWINGS

NO	DATE	REVISIONS	BY



Unit 4 The Galleries
129 High Street, Liverpool
L1 1 1T
Tel: 0151 906 2818
E-mail: info@orangekey.co.uk

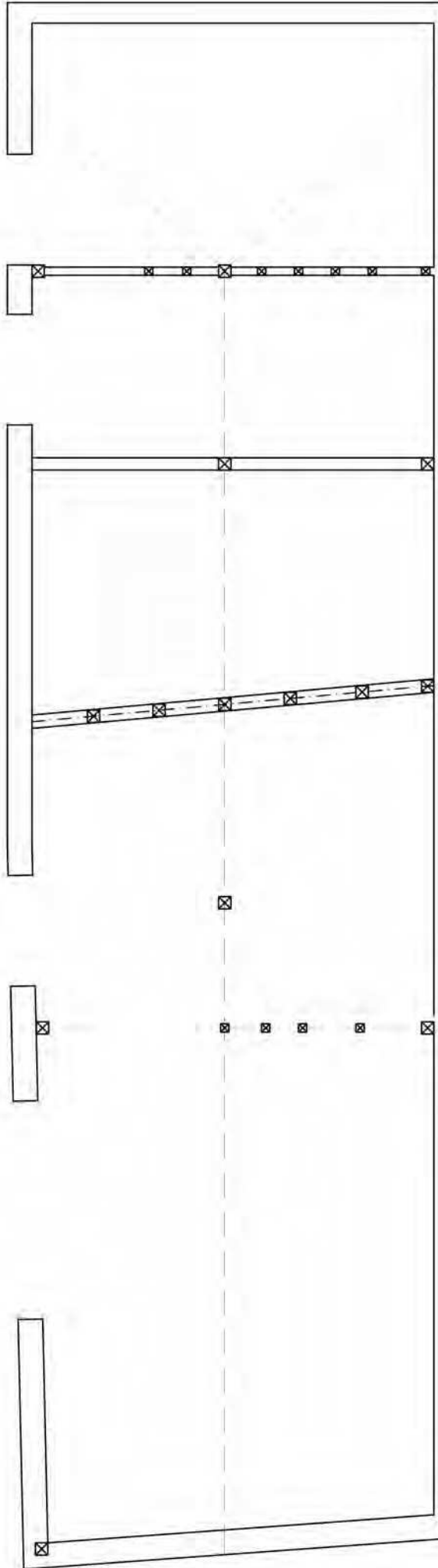
Client: JAMES DANIEL CONSTRUCTION

Project: LESSER BARN
HUBBARDS FARM
WEST DRAYTON

Name: SITE PLAN

Issue: AS SHOWN @ A1
Date: OCT 2016
Prepared By: [blank]
Checked By: [blank]

Drawing Number: 16092/001



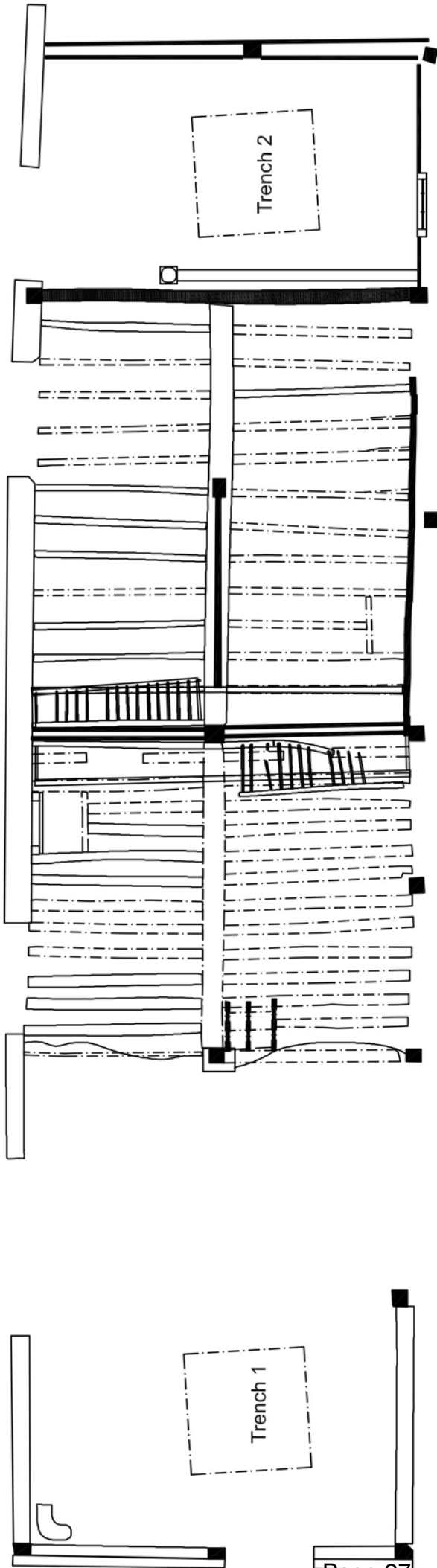
Existing Ground Floor Plan

Scale 1:50

Note:
 Existing Plan shows the outline
 of the existing structure prior to
 any subsequent partial collapse
 or dismantling of walls, or timberwork



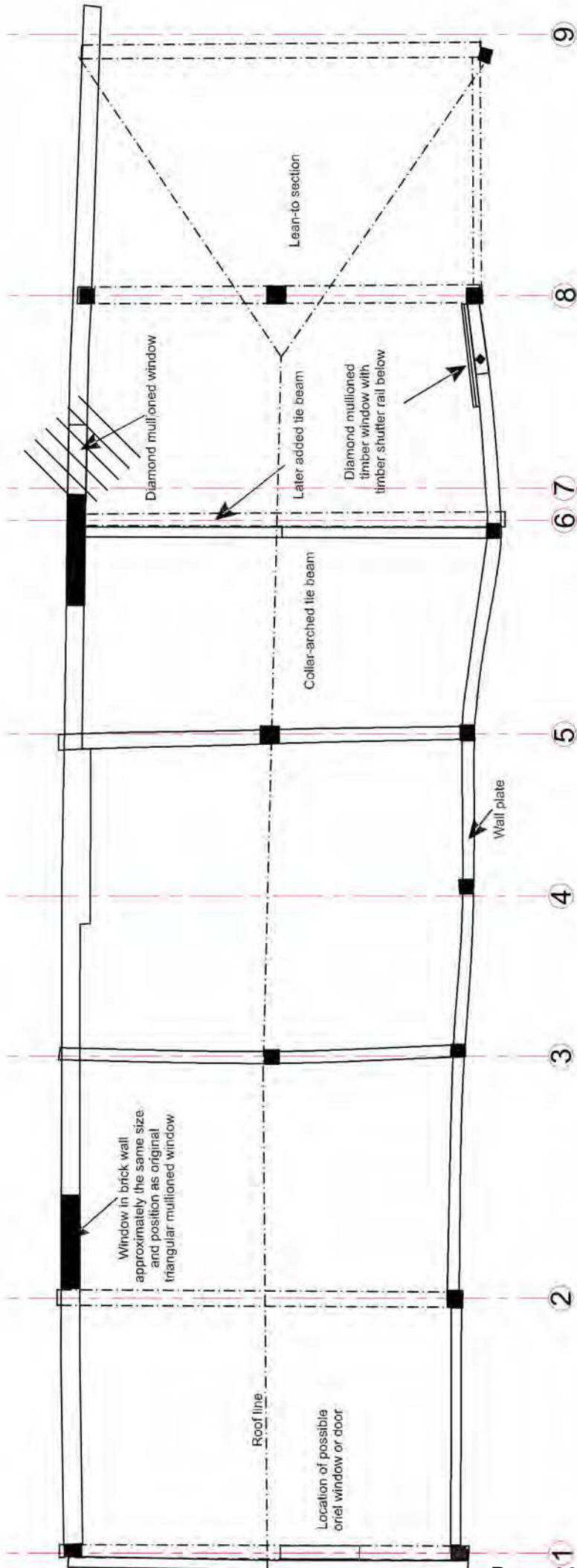
	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Existing Ground Floor Plan	Scale: 1:50 @ A3 Date: 05/2013 Drawing No.: 2888 - 01/MP																
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	Revision																		



Note: Existing Plan shows the existing outline plan as issued by Penny Copeland & HP and based on survey dated August 2006 and shows the existing structure prior to any subsequent partial or complete collapse or dismantling of walls, or timber work
For clarity only the main walls and framing are shown



	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Penny Copeland Survey Ground Floor Plan	Scale: 1:50 @ A3 Date: 05 2013 Drawing No.: 2688 - 016/MP							
	Revision <table border="1"> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>									
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008										



Hubbard's Farm Lesser Barn: First Floor Plan

Survey carried out by PEC & HP August 2006

Dimensions for construction purposes to be checked on site

McCurdy & Co. Ltd. Manor Farm, Stanford Dingley, Reading, Berks. RG7 6LS
 Penny Copeland, Holmwood, Chapel Road, Swanmore, Hants. SO32 2QA

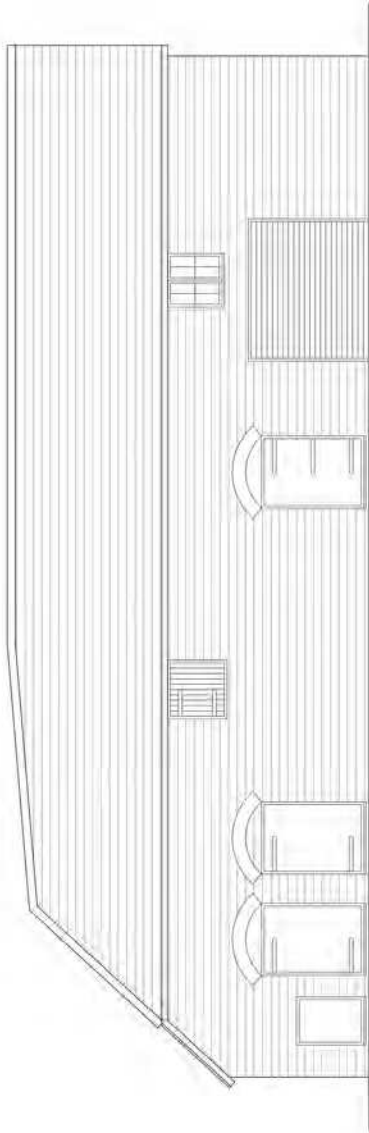
Key

- Structural post
- ▣ Brick
- ▤ Tie Beam
- ▥ Site of mullioned window

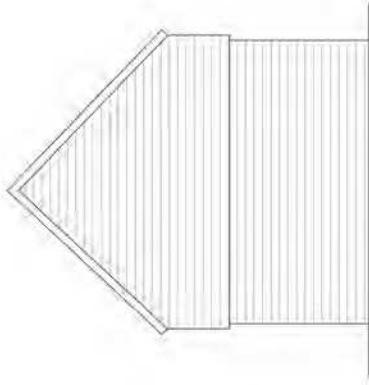
Note:
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 For clarity only the main walls and framing are shown



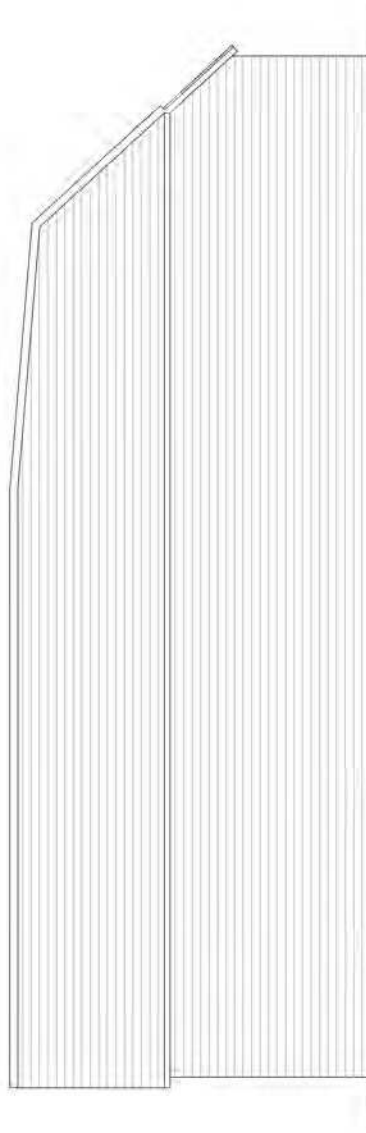
	Project: Lesser Barn Hubbard's Farm West Drayton UB8	Title: Penny Copeland Survey First Floor Plan	Scale: 1:50 @ A3 Date: 05 2013 Drawing No.: 2688 - 017/MP			
	Revision <table border="1"> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>					
239 Western Road, Southall, Middx. UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008						



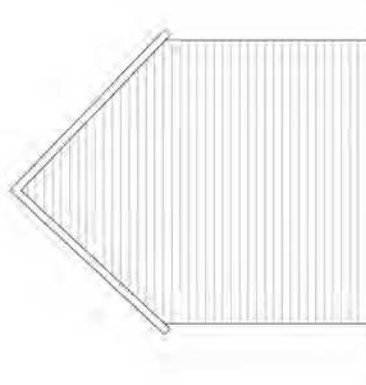
Existing East Elevation
Scale 1:100



Existing South Elevation
Scale 1:100



Existing West Elevation
Scale 1:100

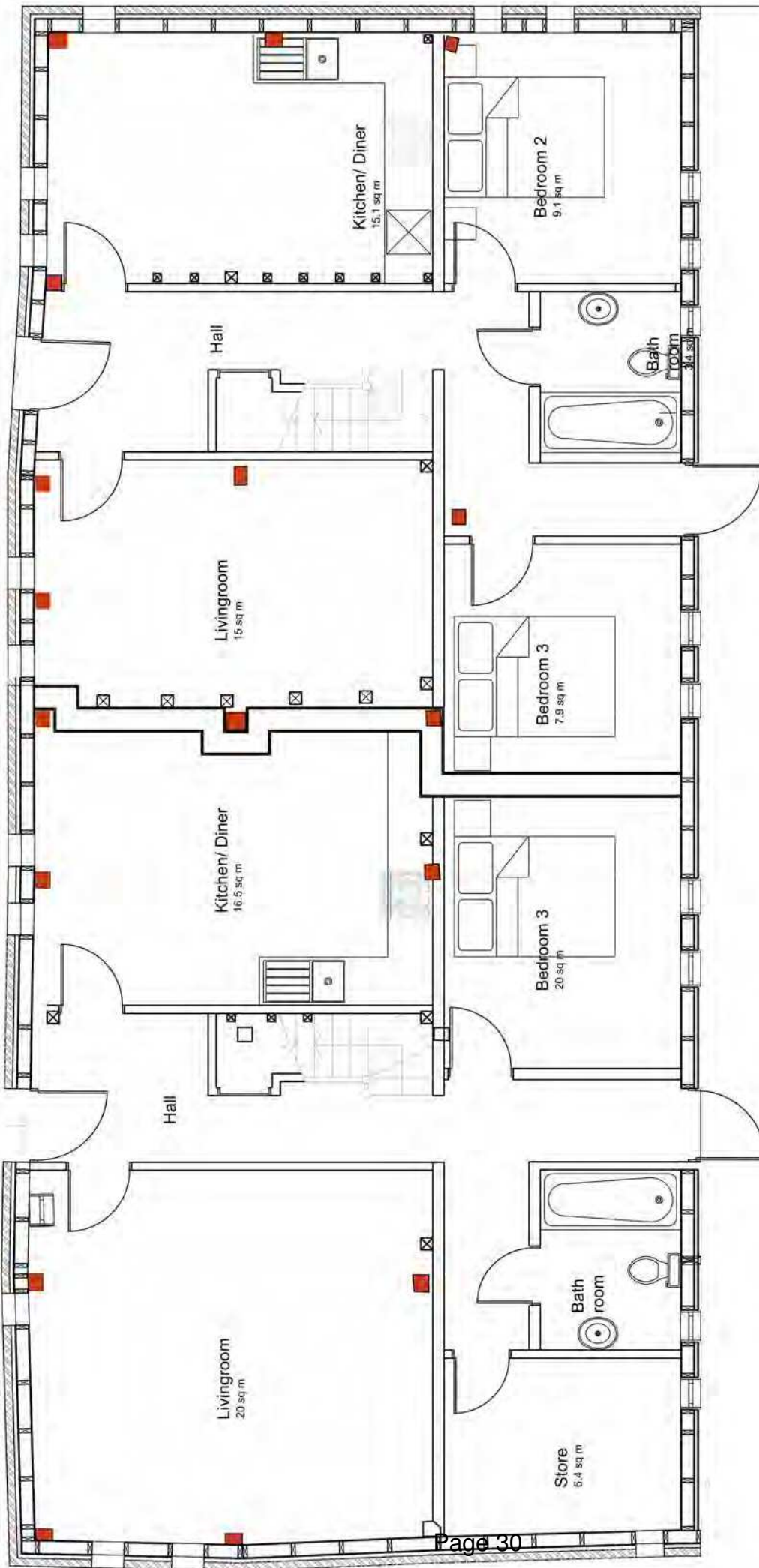


Existing North Elevation
Scale 1:100

Note
Existing elevations will mean the structure as existing prior to any partial or complete collapse of the fabric



	Project: Lisser Barn Hubbarbs Farm West Drayton UB8	Title: Existing Elevations	Scale: 1:100 @ A3 Date: 05 2013 Drawing No.: 2888 - 02/MP Revision
	Revision		
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Note
 Position of existing timber posts are shown in
 approximate locations, and are based on McCurdy
 & Co site survey dated Feb 2014. On the
 completion of the dated workshop survey and
 remedial work report, the exact position of the
 columns will be finalised

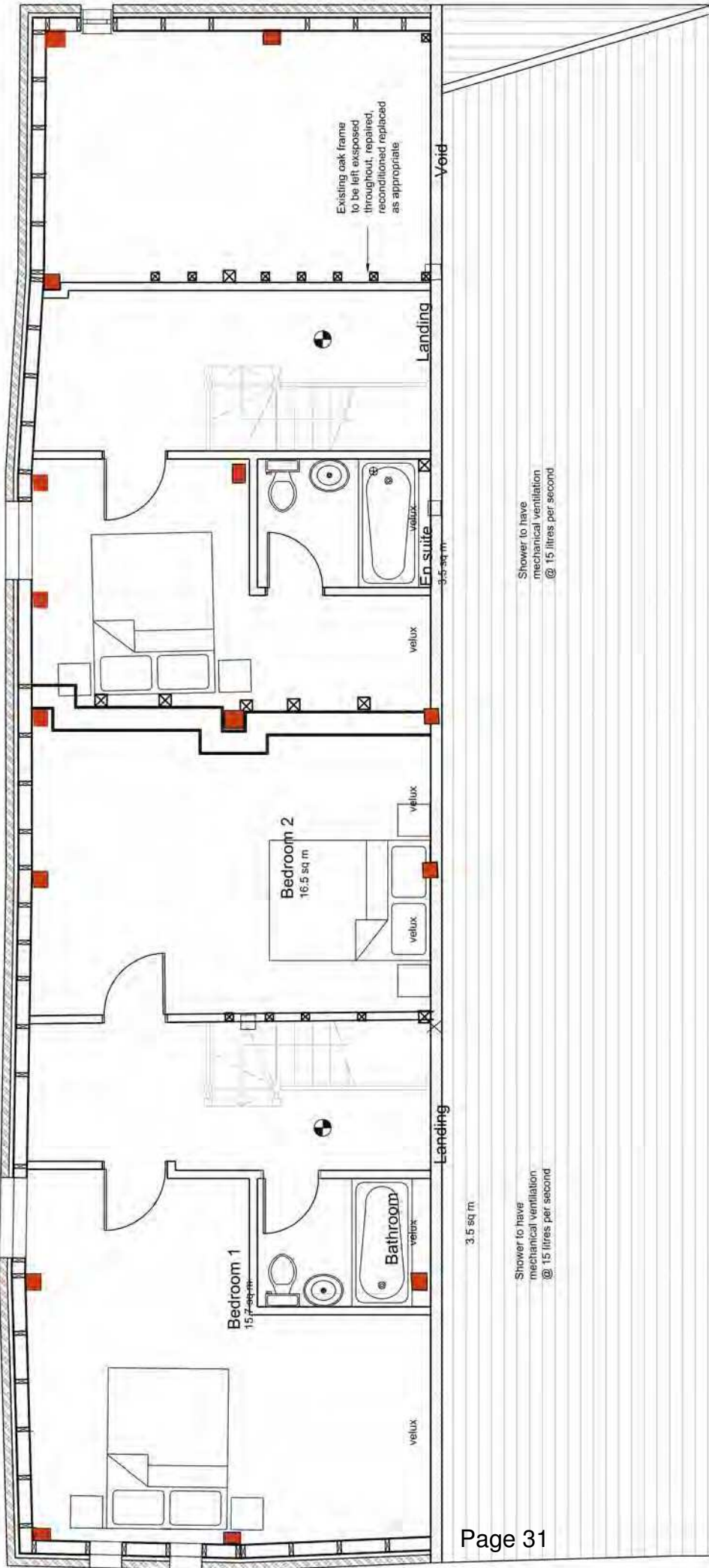
Note
 R3. Ex column & window positions amended
 Wall construction amended

1:50



1 2 3 4 5 6 7 8 9

	Project: Lesser Barn Huoburbs Farm West Drayton UB8	Title: Proposed Ground Floor Plan	Scale: 1:100 @ A3 Date: 04 2013 Drawing No.: 2688 - 03/MP Revision: R3
	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		

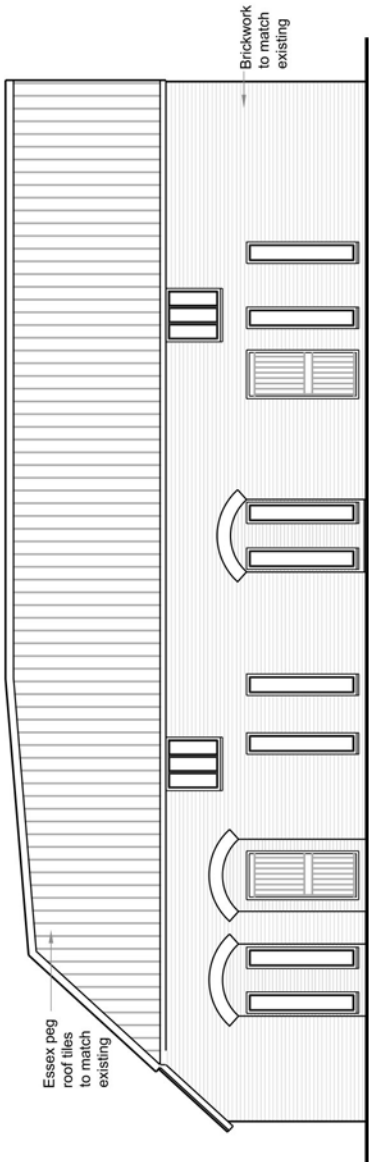


Note
 R3: Ex column & window positions amended.
 Wall construction amended

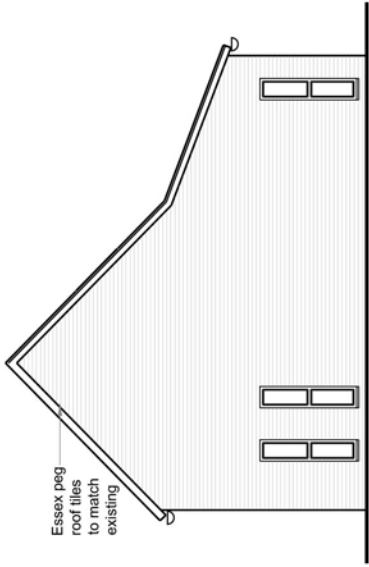
Note
 Position of existing timber posts are shown in approximate locations, and are base on McCurdy & Co site survey dated Feb 2014. On the completion of the dated workshop survey and remedial work report, the exact position of the columns will be finalised



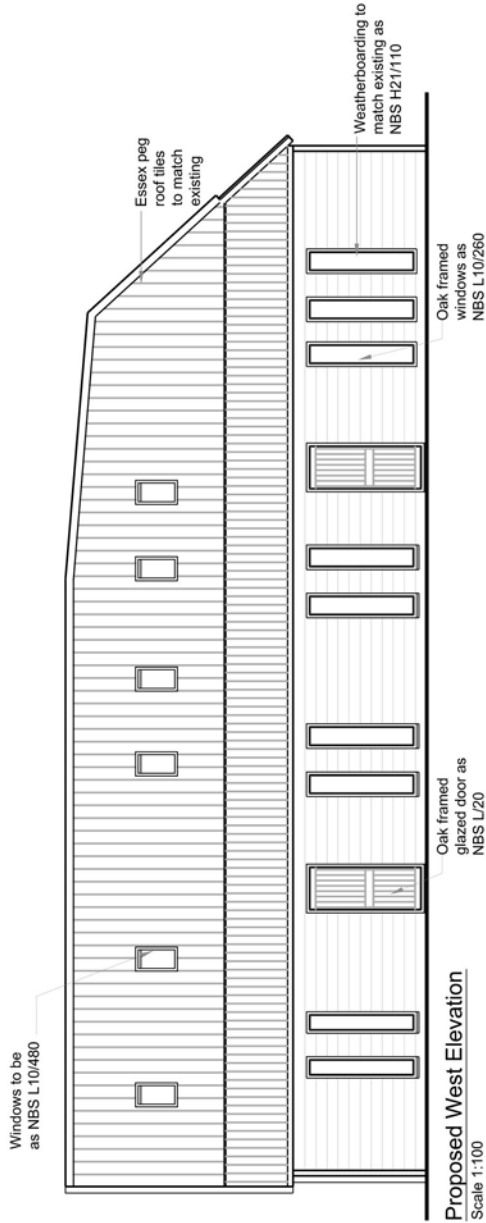
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			Date: 04 2013 Drawing No.: 2688 - 04/MP Revision R3
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			



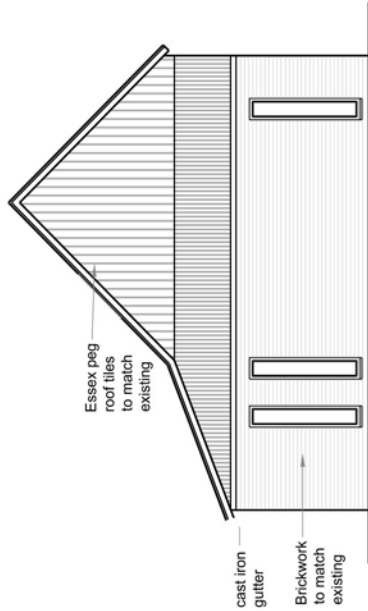
Proposed East Elevation
Scale 1:100



Proposed South Elevation
Scale 1:100



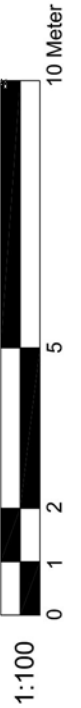
Proposed West Elevation
Scale 1:100



Proposed North Elevation
Scale 1:100

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	Project: Lesser Barn Hubbarbs Farm West Drayton UB8	Title: Proposed Elevations	Scale: 1:100 @ A3 Date: 05_2013 Drawing No.: 2688 - 14/MP
	Revision R3	Revision R3	Revision R3
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Trench Foundations

750mm x 600mm trench fill foundations, concrete mix to conform to BS EN 206-1 and BS 8500-2. All foundations to be a minimum of 1000mm below ground level, exact depth to agreed on site with Building Control Officer to suit site conditions. All constructed in accordance with 2004 Building Regulations A1/2 and BS 8004: 1986 Code of Practice for Foundations. Ensure foundations are constructed below invert level of any adjacent drains. Base of foundations supporting internal walls to be min 600mm below ground level. Suitable resistant cement to be used if required. Please note that should any adverse soil conditions or difference in soil type be found or any major tree roots in excavations, the Building Control Officer is to be contacted and the advice of a structural engineer should be sought.

Timber Suspended Floor

Ground preparation - Remove top soil and vegetation, apply total weed killer and 150mm min thick sand blinded hardcore, then either -
(i) Provide concrete ground cover of at least 100mm thick or
(ii) Prepare the ground to an even surface and lay a ground cover of concrete at least 50mm thick, on a damp-proof membrane of at least 1200 gauge polyethylene, laid on a bed of fine blinding material.
Floor construction - min 20mm tongue and groove softwood boards or moisture resistant particle/chipboard grade type C4 to BS EN 312:2010 as required. Lay with staggered joints on 50mm x 200mm C24 grade soft wood joists at maximum 400mm centres, max span 4.83m. Joists to be supported off proprietary galvanized joist hangers built into new masonry walls or fixed to treated timber wall plates resin bolted to walls at 600mm centres. If required, floor joists also to be supported on 100mm x 50mm treated wall plates and DPC fixed to masonry honeycombed sleeper walls built on thickened oversite concrete. Joists to be filled with 110mm Celotex XR4000 fixed with Celotex clips. The top surface of the ground cover under the building shall be above the finished level of the adjoining ground. The underside of the floor joists are not to be less than 150mm above the top of the ground cover. The underside of any wall plate is to be not less than 75mm above the top of the ground cover.

Ventilation of Floor

Provide cross-ventilation under floor to outside air by ventilators in at least 2 opposite external walls of the building. Ventilation openings having an opening area of 1500mm² per metre run of perimeter wall or 500mm² per square metre of floor area whichever gives the greater opening area. All sleeper walls or similar under floor obstructions shall be of honeycombed construction or have similar provision for distribution of ventilation. The under floor space shall be free from debris. Durics to be sealed using gas proof tap if they pass through the radon barrier.

Walls Below Ground

All new walls to have Class A blockwork below ground level or alternatively semi engineering brickwork in 1:4 masonry cement or equal approved specification. Cavities below ground level to be filled with lean mix concrete min 225mm below damp proof course. Or provide lean mix bacfill at base of cavity wall (150mm below damp course) laid to fall to weepholes.

Timber Frame Wall

To achieve minimum U Value of 0.28W/m²K
Cedar weatherboarding vertically on 25 x 38mm preservative-treated battens (provide counter battens to ensure vented and drained cavity if required) fixed to breathable membrane (having a vapour resistance of not more than 0.6 MNs/g) and 12mm thick W.B.P external quality plywood sheathing (or other approved). Ply fixed to treated timber frame studs constructed using: 100mm x 50mm head and sole plates and vertical studs (with noggins) at 400mm c/s or to engineer's details and calculations. Insulation between and over studs, 60mm Celotex GA4000 between plus 37.5mm Celotex PL4000 insulated plasterboard over with VCL, fixed to internal face of insulation. Finish with 3mm skim coat of finishing plaster. All junctions to have water tight construction, seal all perimeter joints with tape internally and with silicon sealant externally.

Partial Fill Cavity Wall

To achieve minimum U Value of 0.28W/m²K
Provide 103mm suitable facing brick. Ensure a 50mm clear residual cavity and provide 60mm Celotex CVA4000 insulation fixed to 100mm standard block internal leaf. K value 0.15 (Celcon Standard, Thermatite Shield, Toplite Standard.) Internal finish to be 13mm lightweight plaster or plasterboard on dabs. Walls to be built with 1:1.5 cement mortar.

Detail B

50x200 Collar

Essex peg roof files to match existing

Ventilation tray
Detail F

Landing

50x200 floor joists

50x200 joists

22mm moisture resistant floorboard/chipboard

Contc. lintel

Provide 100mm mineral wool with density of 10Kg/m³ between floor joists held in place with chicken wire mesh

Celotex insulation

50x200 floor joists

Provide noggins between 50x200 floor joists

Solid oak open staircase to first

Block wall

22mm moisture resistant floorboard/chipboard

Cavity closer

Cainic lintel

Timber support

50x200 timber rafters

Celotex insulation

Unvented Pitched Roof

Pitch 22-45°
To achieve U-value of 0.18 W/m²K
Timber roof structures to be designed by an Engineer in accordance with NIBC Technical Requirement RS Structural Design. Calculations to be based on BS EN 1995-1-1. Suitable roofing tiles on 25 x 38mm lanalised sw treated battens on breathable sarking felt to relevant BSA Certificate. Supported on 50 x 200mm grade C24 rafters at max 400mm centres span to engineer's details. Rafters supported on 100 x 50mm treated sw wall plates. Allow min 20mm air space to allow for draps of breathable felt. Insulation to be 165mm Celotex XR4000 fixed between rafters. Fix 12.5mm foil backed plasterboard (joints staggered) and 5mm skim coat of finishing plaster to the underside of all ceilings using galvanized plasterboard nails. Restraint strapping - Ceiling joists tied to rafters (if raised collar roof consult structural engineer). 100mm x 50mm wall plate strapped down to walls. Ceiling joists and rafters to be strapped to walls and gable walls, straps built into cavity, across at least 3 timbers with noggins. All straps to be 1000 x 30 x 5mm galvanized straps or other approved to BSEN 845-1 at 2m centres.

Dpc

Provide horizontal strip polymer (hydro) damp proof course to both internal and external skins minimum 150mm above external ground level. New DPC to be made continuous with existing DPC's and with floor DPM. Vertical DPC to be installed at all reveals where cavity is closed.

Wall Ties

All walls constructed with stainless steel vertical twist type retaining wall ties built in at 750mm c/s horizontally, 450mm vertically and 225mm c/s at reveals and corners in staggered rows. Wall ties to be suitable for cavity width and in accordance with BS 5268-6.1: 1996 and BS EN 845-1: 2003.

Cavities

Provide cavity trays over openings. All cavities to be closed at eaves and around openings using Thermabate or similar non combustible insulated cavity closers. Provide vertical DPCs around openings and abutments. All cavity trays must have 150mm upstands and suitable cavity weep holes (min 2) at max 900mm centres.

Roof Lights

Min U-value of 1.6 W/m²K

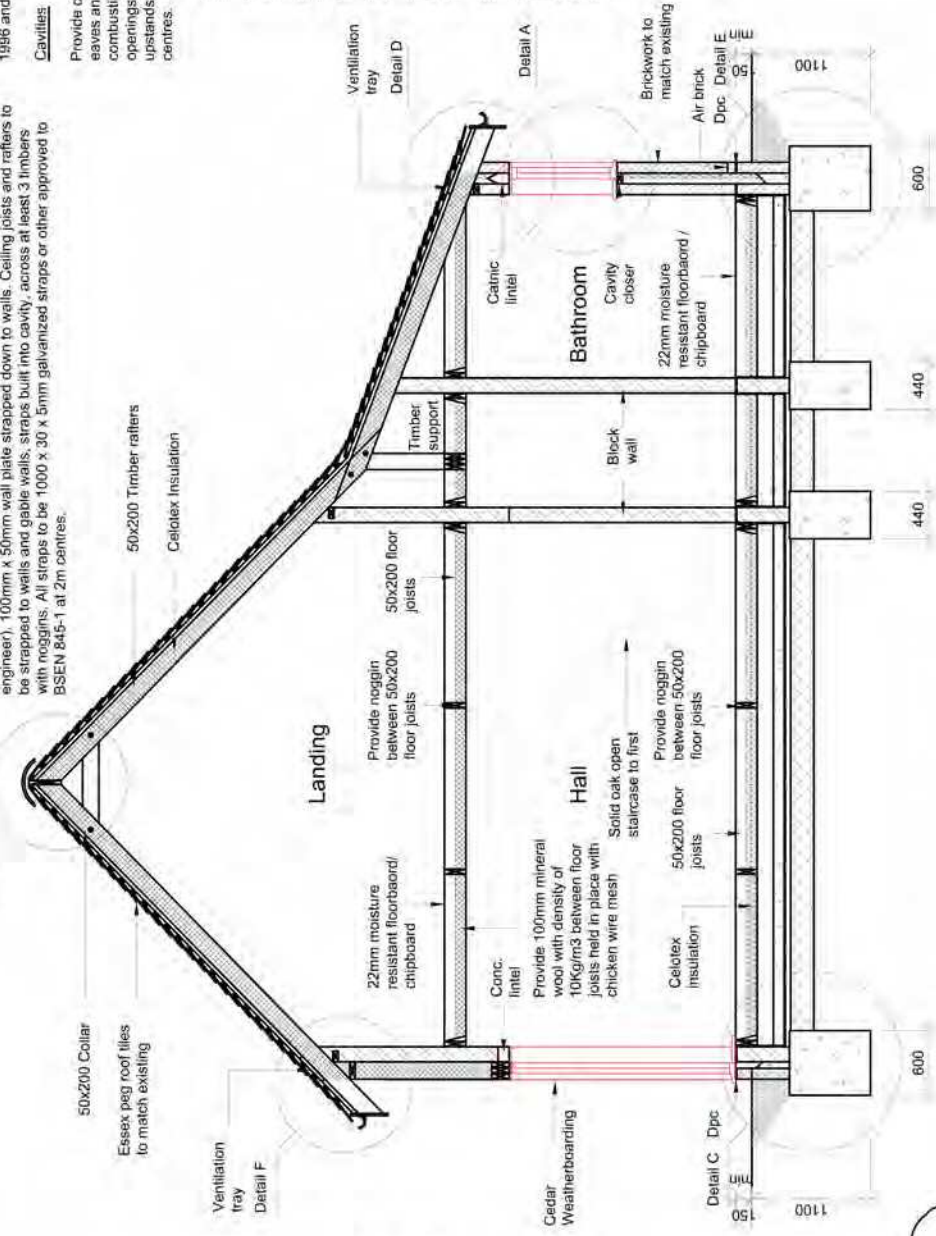
Roof-lights to be double glazed with 16mm argon gap and soft low-E glass. Window Energy Rating to be Band C or better. Roof lights to be fitted in accordance with manufacturer's instructions with rafters doubled up to sides and suitable flashings etc.

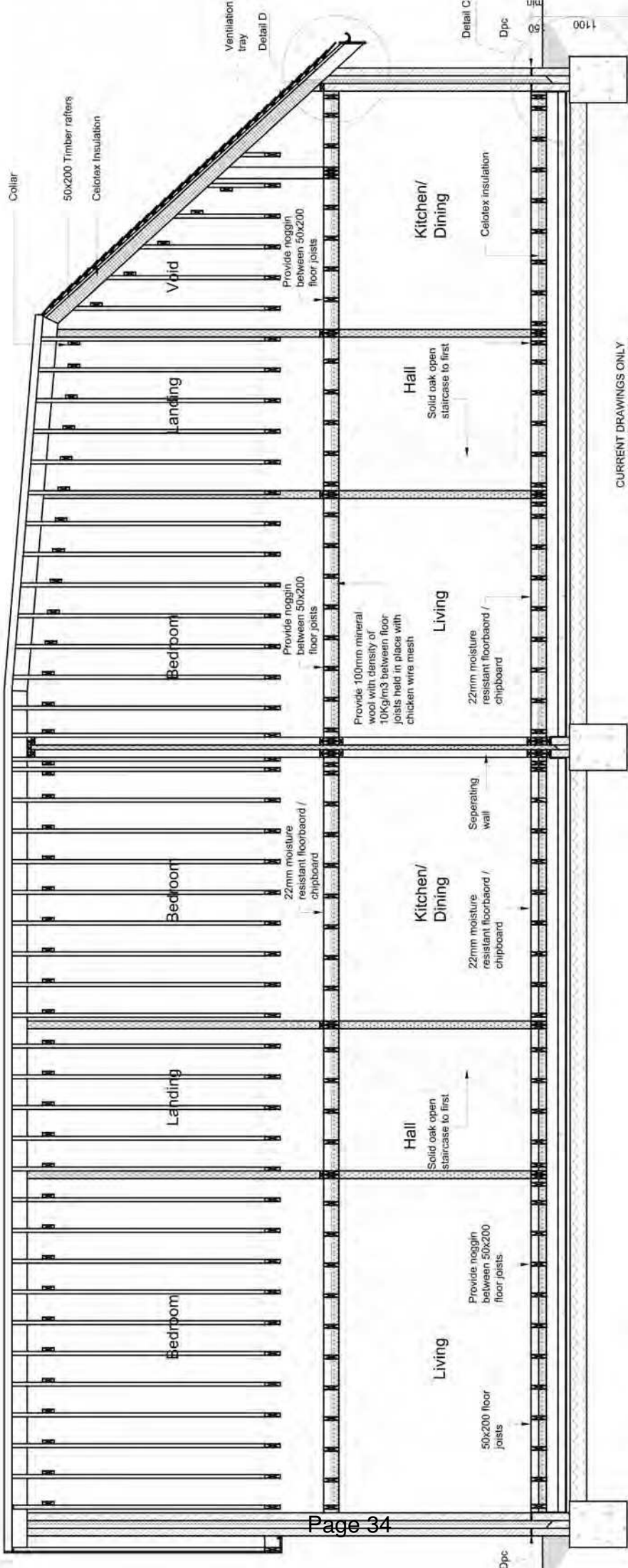
Windows

Windows to be double glazed with 16mm argon gap and soft coat low-E glass. Window Energy Rating to be Band C or better and to achieve U-value of 1.6 W/m²K.

Doors

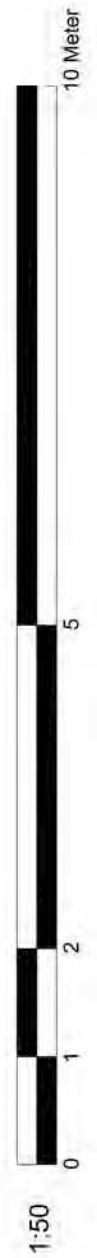
Doors to achieve a U-Value of 1.80W/m²K. Glazed areas to be double glazed with 16mm argon gap and soft low-E glass. Glass to be toughened or laminated safety glass to BS 6206; BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations.



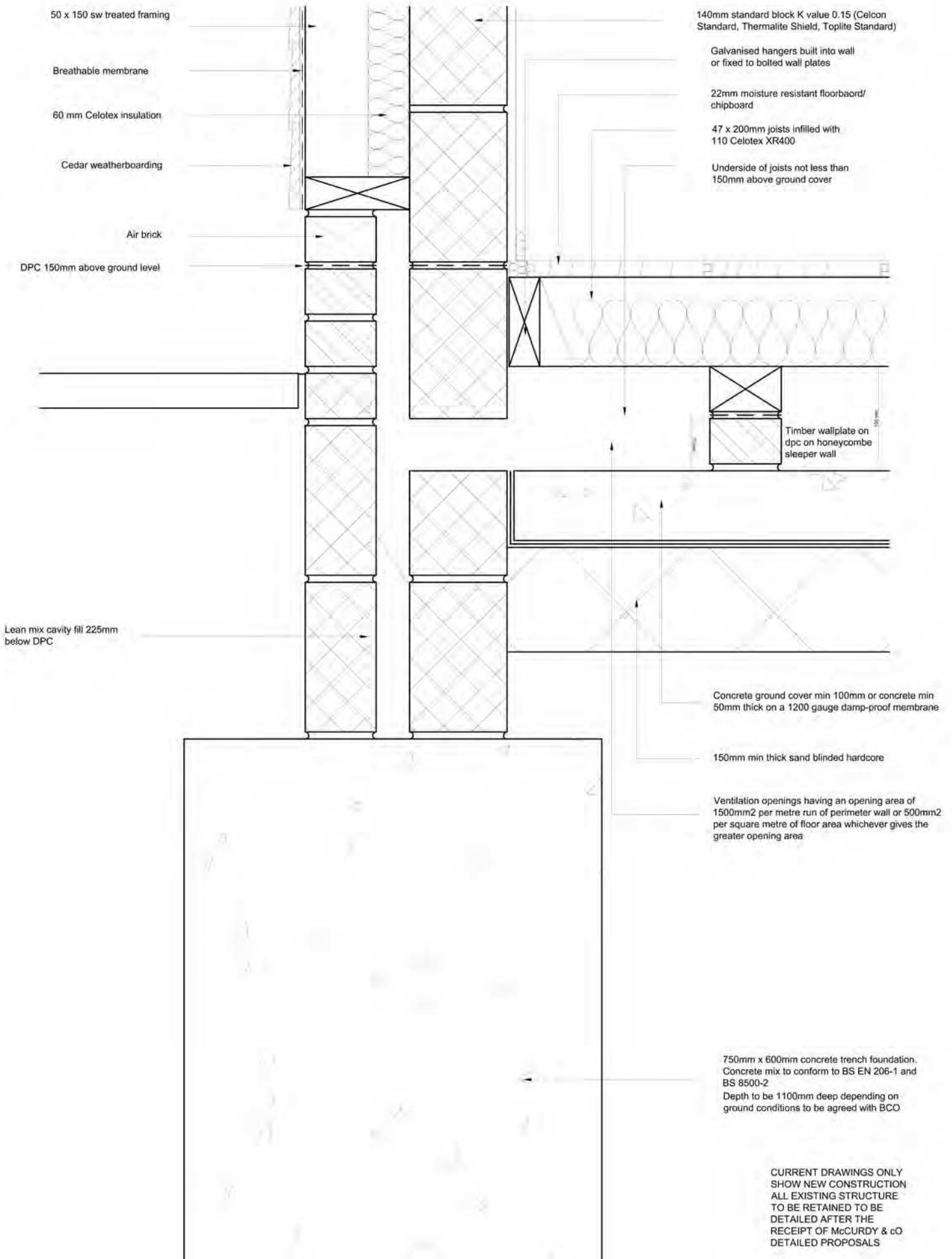


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Proposed Section B-B
 Scale 1:50

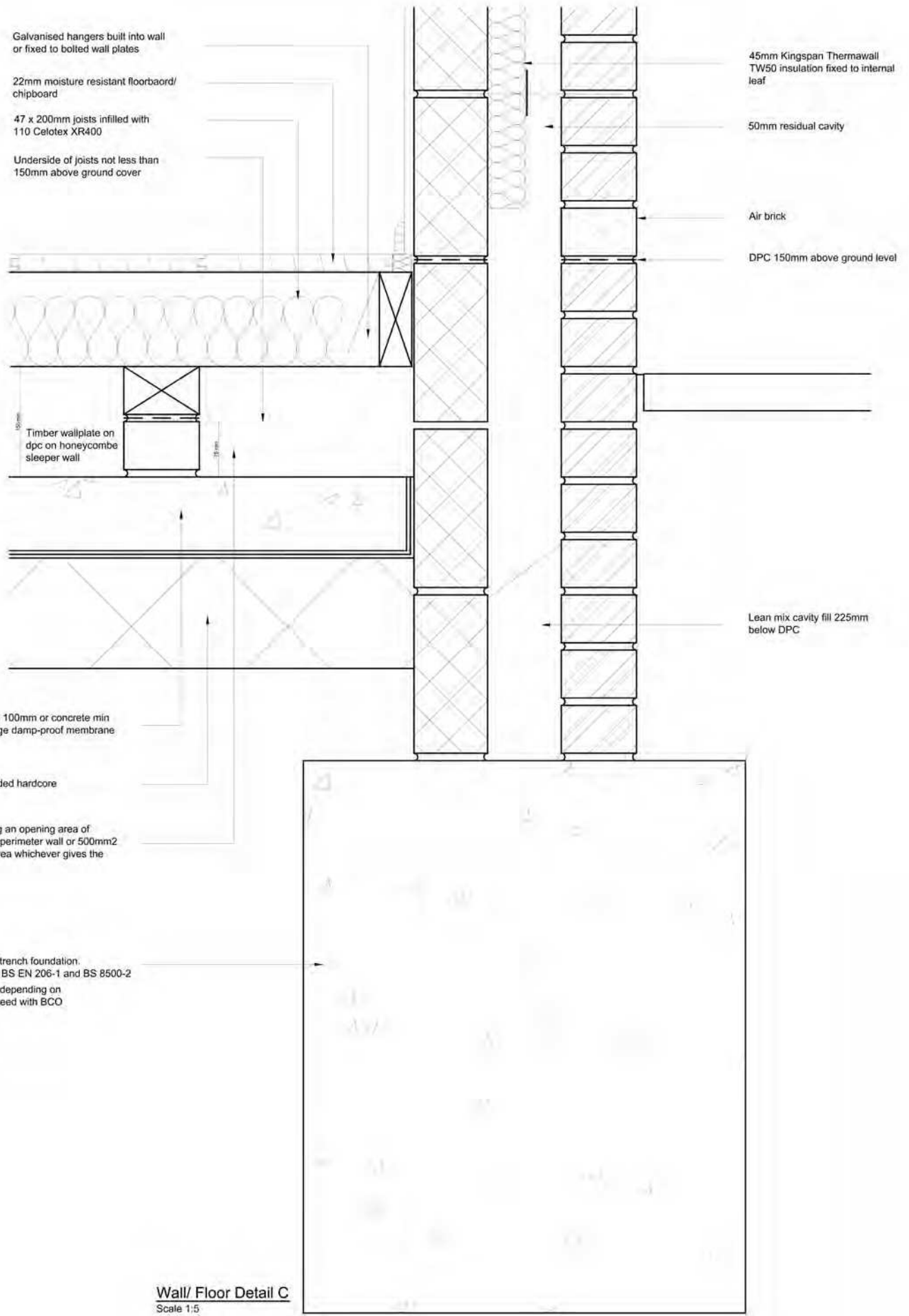


	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Proposed Section B-B	Scale: 1:50 @ A3 Date: 05 2013 Drawing No.: 2688 - 05/MP Revision: R1
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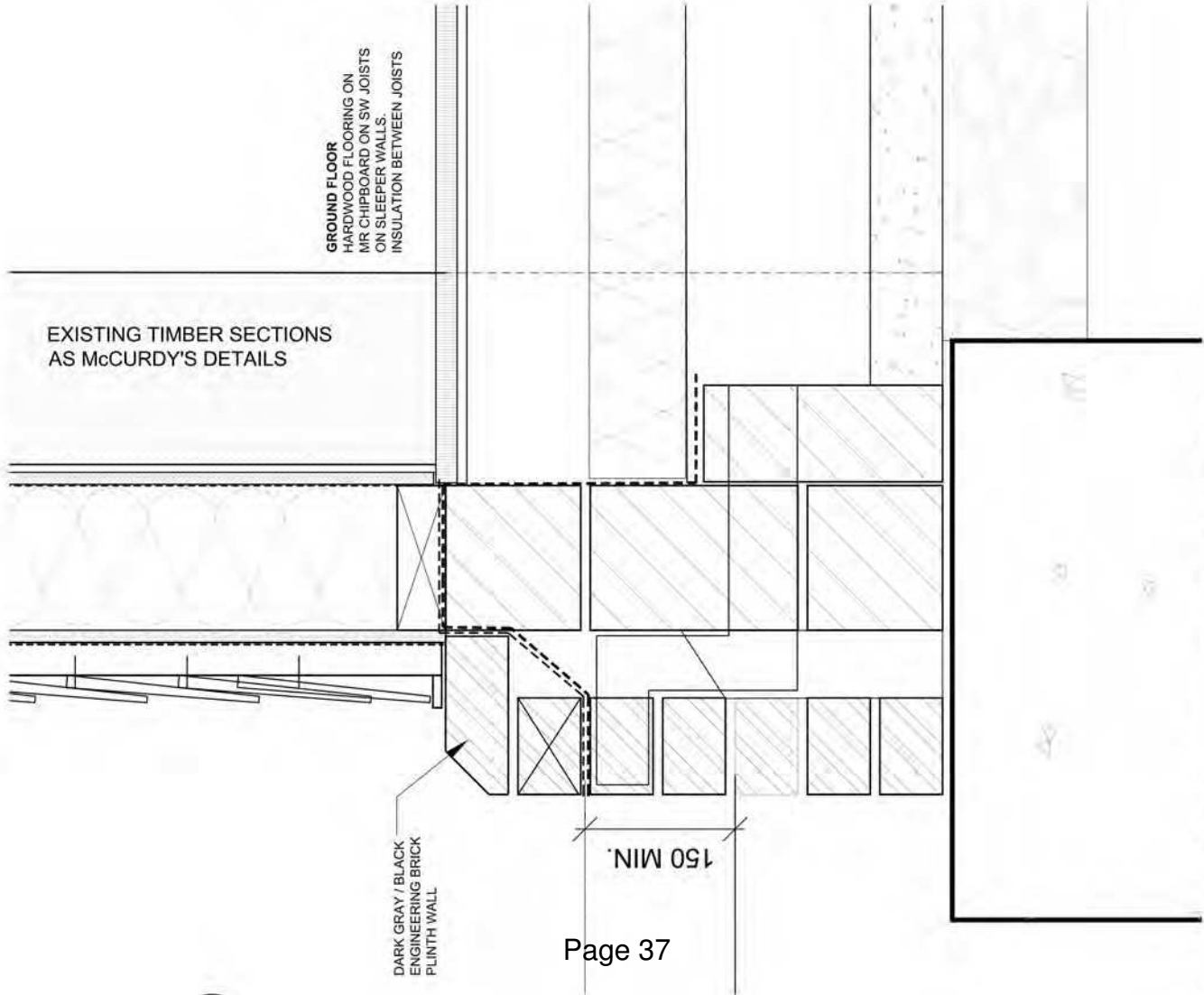
Wall/ Floor Detail E
Scale 1:5

	Project:	Title:	Scale: 1:5 @ A3
	Lesser Barn Hubbarbs Farm West Drayton UB8	Foundation Detail	Date: 04 2013
			Drawing No.: 2688 - 12/MP
			Revision
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			

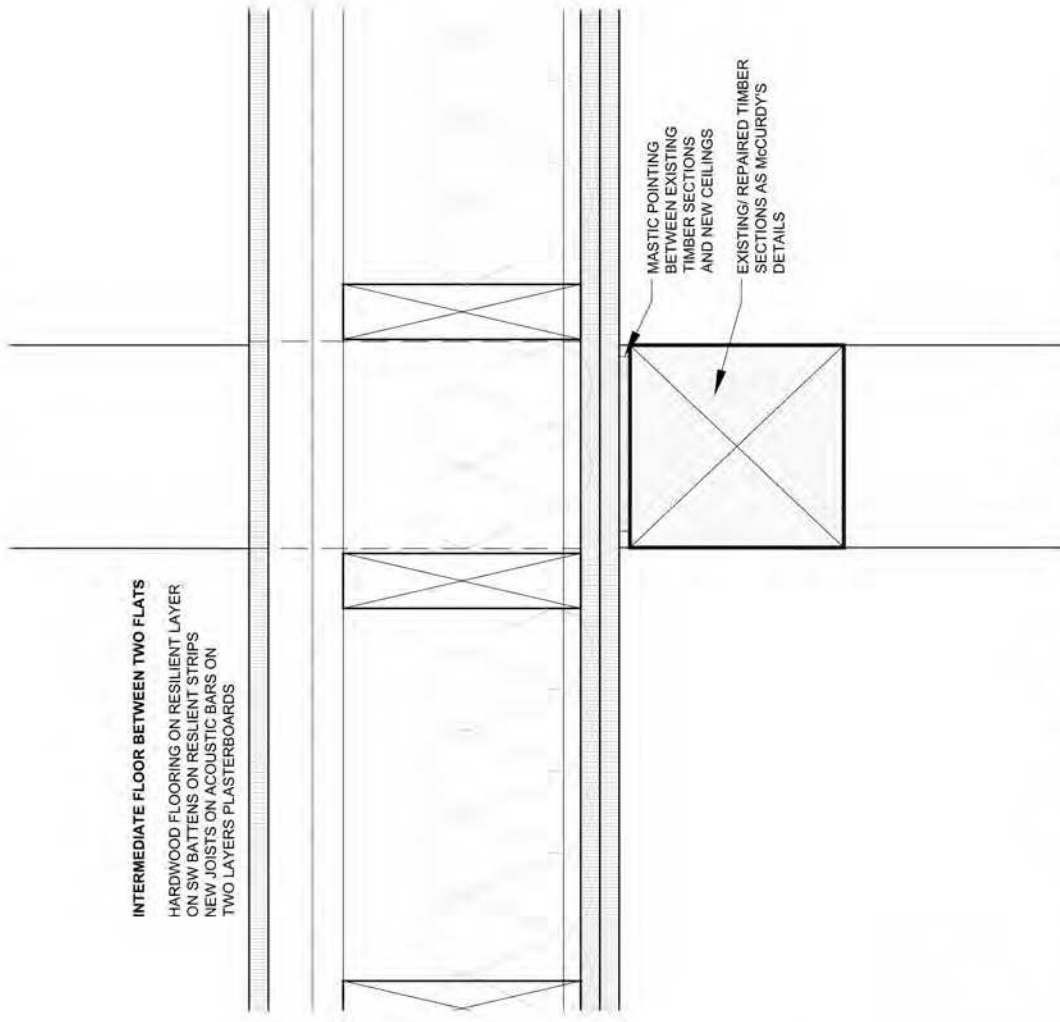


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	Lesser Barn Hubbarbs Farm West Drayton UB8	Foundation Detail	Date: 04 2013
			Drawing No.: 2688 - 10/MP
			Revision
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			

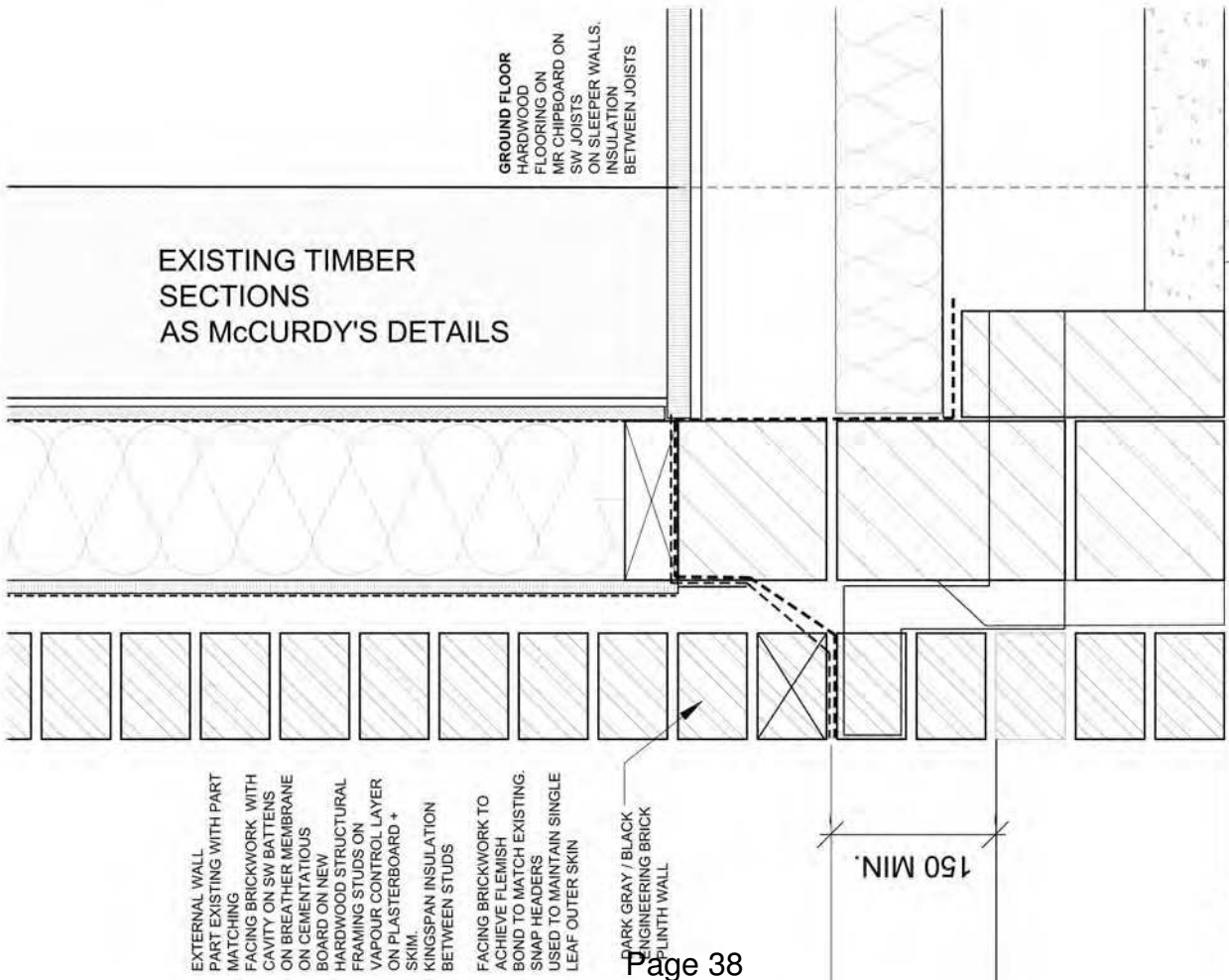
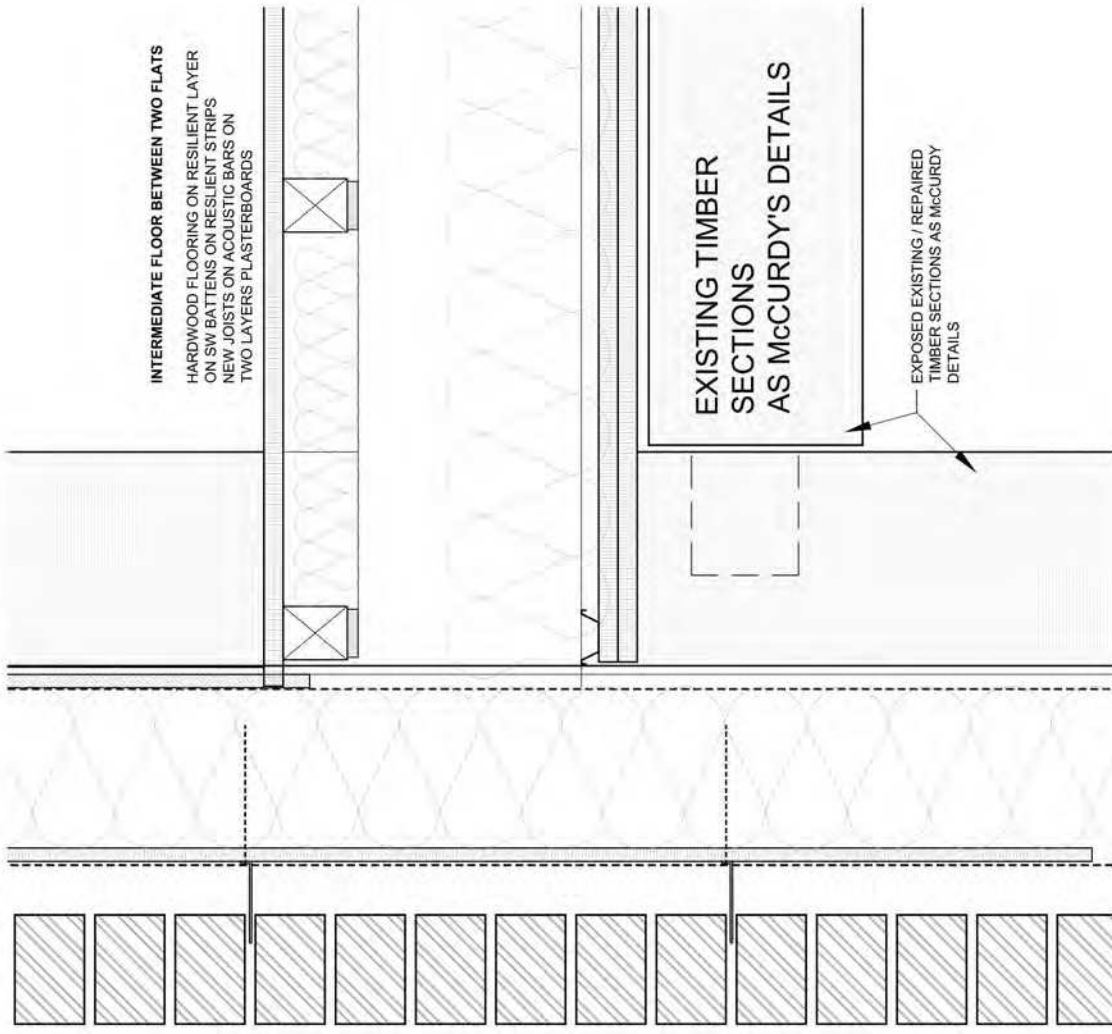


1. Foundation Detail - Timber clad Wall



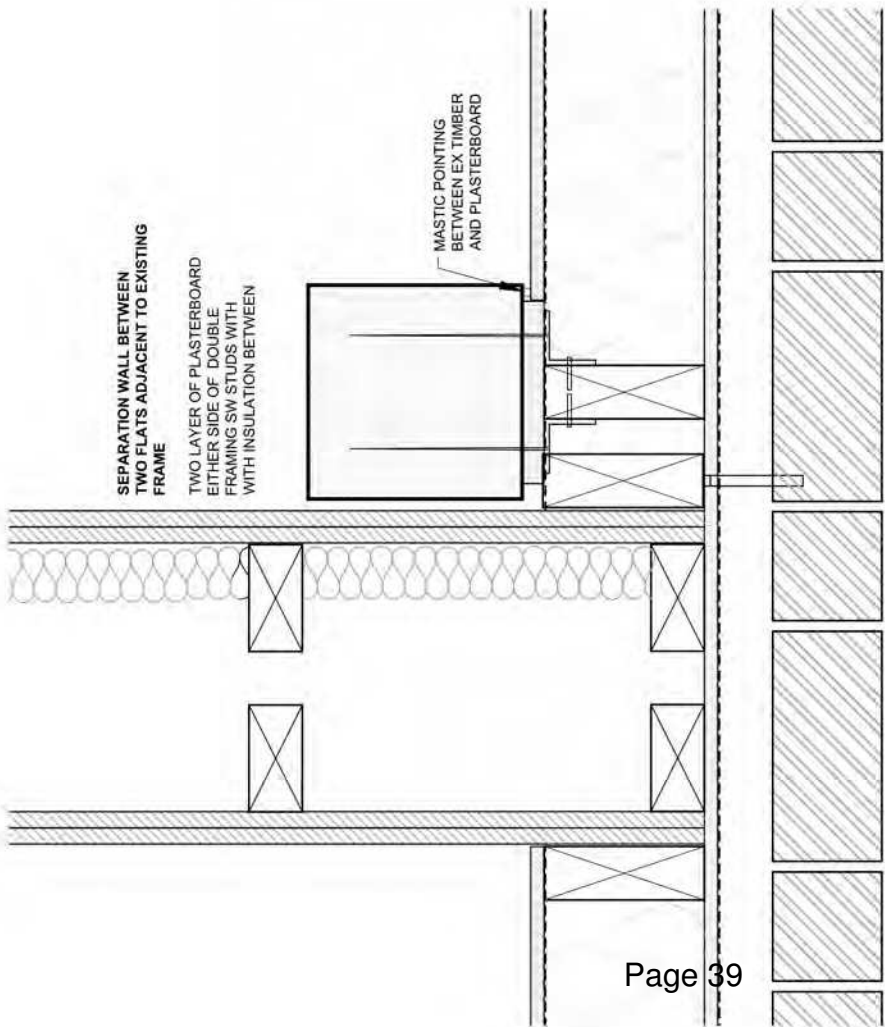
2. Intermediate Floor / Internal Beam Junction

	Project: Lesser Barn Huuburbs Farm West Drayton UB8	Title: Foundation Detail Intermediate Floor Detail	Scale: 1:5 @ A3
			Date: 05 2013 Drawing No.: 2688 - 19 Revision
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			



	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Foundation Detail Intermediate Floor Facing Brick Wall	Scale: 1:5 @ A3 Date: 05 2013 Drawing No.: 2688 - 24 Revision

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SEPARATION WALL BETWEEN TWO FLATS ADJACENT TO EXISTING FRAME

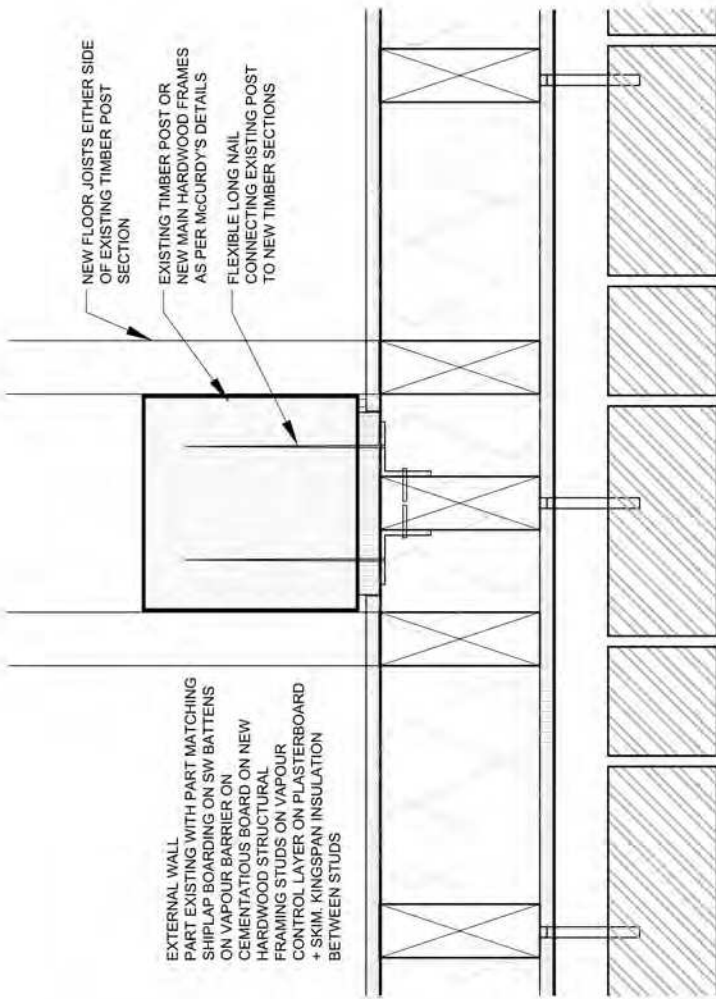
TWO LAYER OF PLASTERBOARD EITHER SIDE OF DOUBLE FRAMING SW STUDS WITH INSULATION BETWEEN

MASTIC POINTING BETWEEN EX TIMBER AND PLASTERBOARD

EXTERNAL WALL

PART EXISTING WITH PART MATCHING FACING BRICKWORK WITH CAVITY ON SW BATTENS ON BREATHER MEMBRANE ON CEMENTATIIOUS BOARD ON NEW HARDWOOD STRUCTURAL FRAMING STUDS ON VAPOUR CONTROL LAYER ON PLASTERBOARD + SKIM. KINGSPAN INSULATION BETWEEN STUDS

FACING BRICKWORK TO ACHIEVE FLEMISH BOND TO MATCH EXISTING. SNAP HEADERS USED TO MAINTAIN SINGLE LEAF OUTER SKIN

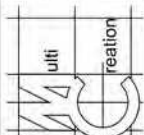


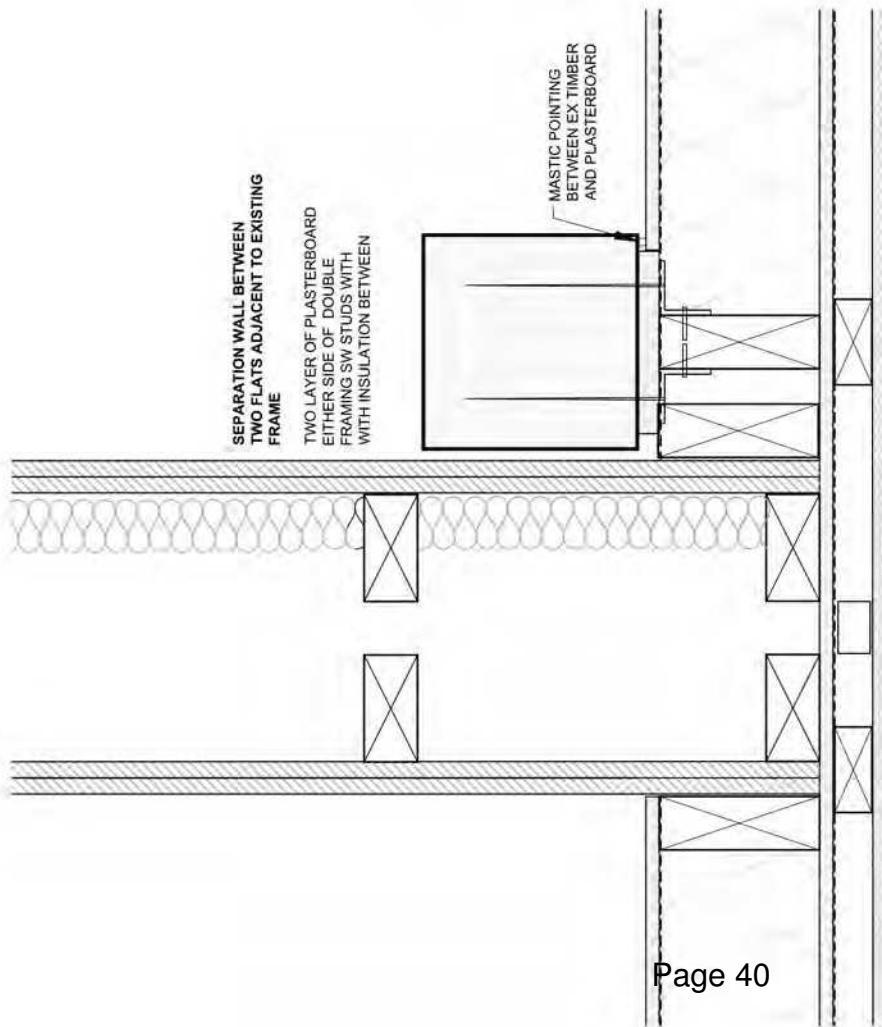
NEW FLOOR JOISTS EITHER SIDE OF EXISTING TIMBER POST SECTION

EXISTING TIMBER POST OR NEW MAIN HARDWOOD FRAMES AS PER MCCURDY'S DETAILS

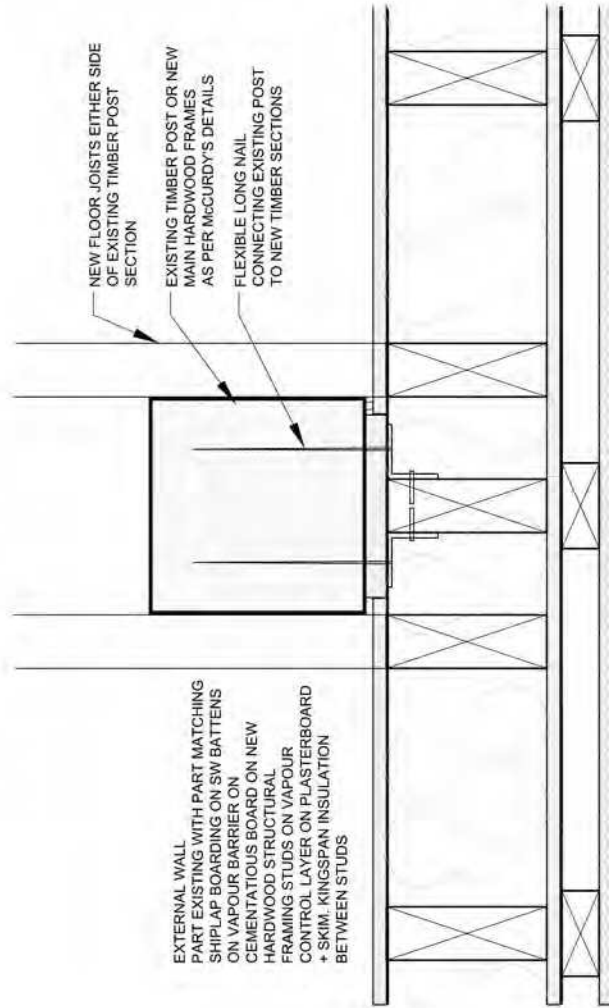
FLEXIBLE LONG NAIL CONNECTING EXISTING POST TO NEW TIMBER SECTIONS

EXTERNAL WALL PART EXISTING WITH PART MATCHING SHIPLAP BOARDING ON SW BATTENS ON VAPOUR BARRIER ON NEW CEMENTATIIOUS BOARD ON NEW HARDWOOD STRUCTURAL FRAMING STUDS ON VAPOUR CONTROL LAYER ON PLASTERBOARD + SKIM. KINGSPAN INSULATION BETWEEN STUDS

	Project: Lesser Barn Hulbarbs Farm West Drayton UB8	Title: External Wall Details Facing Brick Wall	Scale: 1:5 @ A3 Date: 05 2013 Drawing No.: 2688 - 23 Revision
	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		

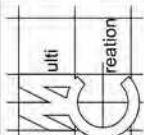


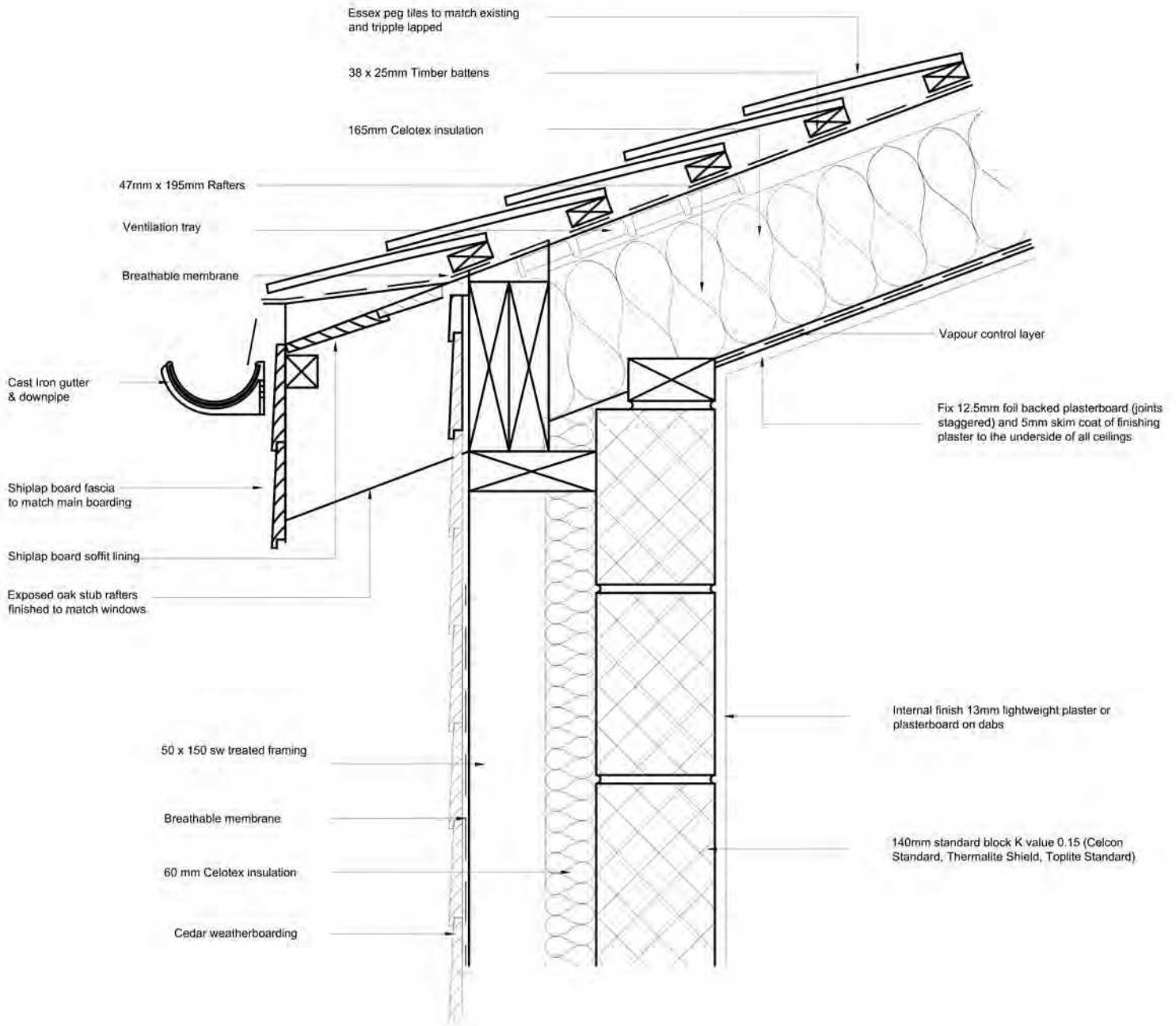
EXTERNAL WALL
PART EXISTING WITH PART MATCHING
SHIPLAP BOARDING ON SW BATTENS ON
VAPOUR BARRIER ON CEMENTATIIOUS
BOARD ON NEW HARDWOOD STRUCTURAL
FRAMING STUDS ON VAPOUR CONTROL LAYER
ON PLASTERBOARD + SKIM.
KINGSPAN INSULATION BETWEEN STUDS



1. Party Wall / Existing Timber Post Junction Timber Clad Wall

2. Typical External Wall / Existing Post Junction Timber Clad Wall

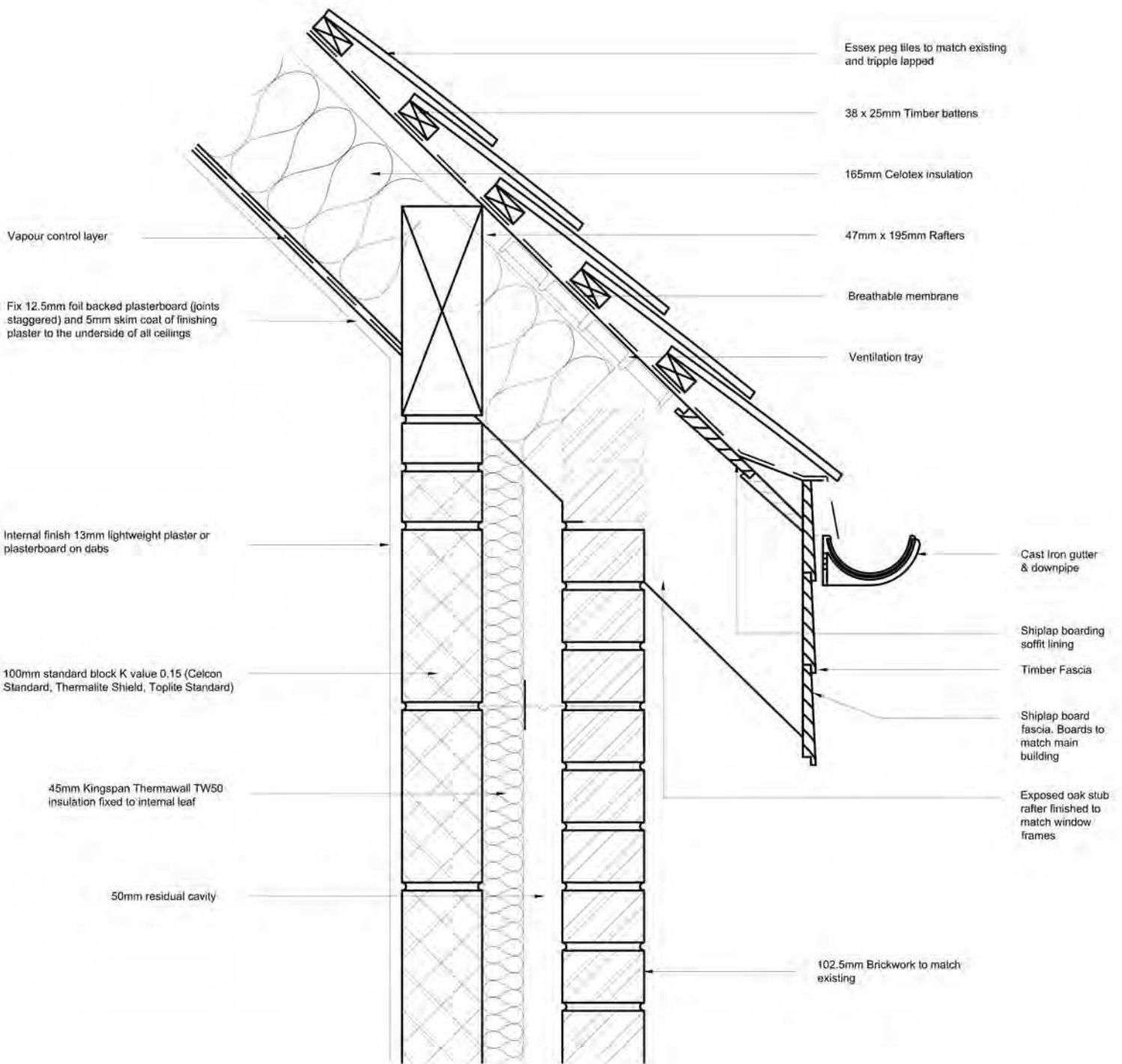
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			Date: 05 2013 Drawing No.: 2688 - 20 Revision
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			



Eaves Detail C
Scale 1:5

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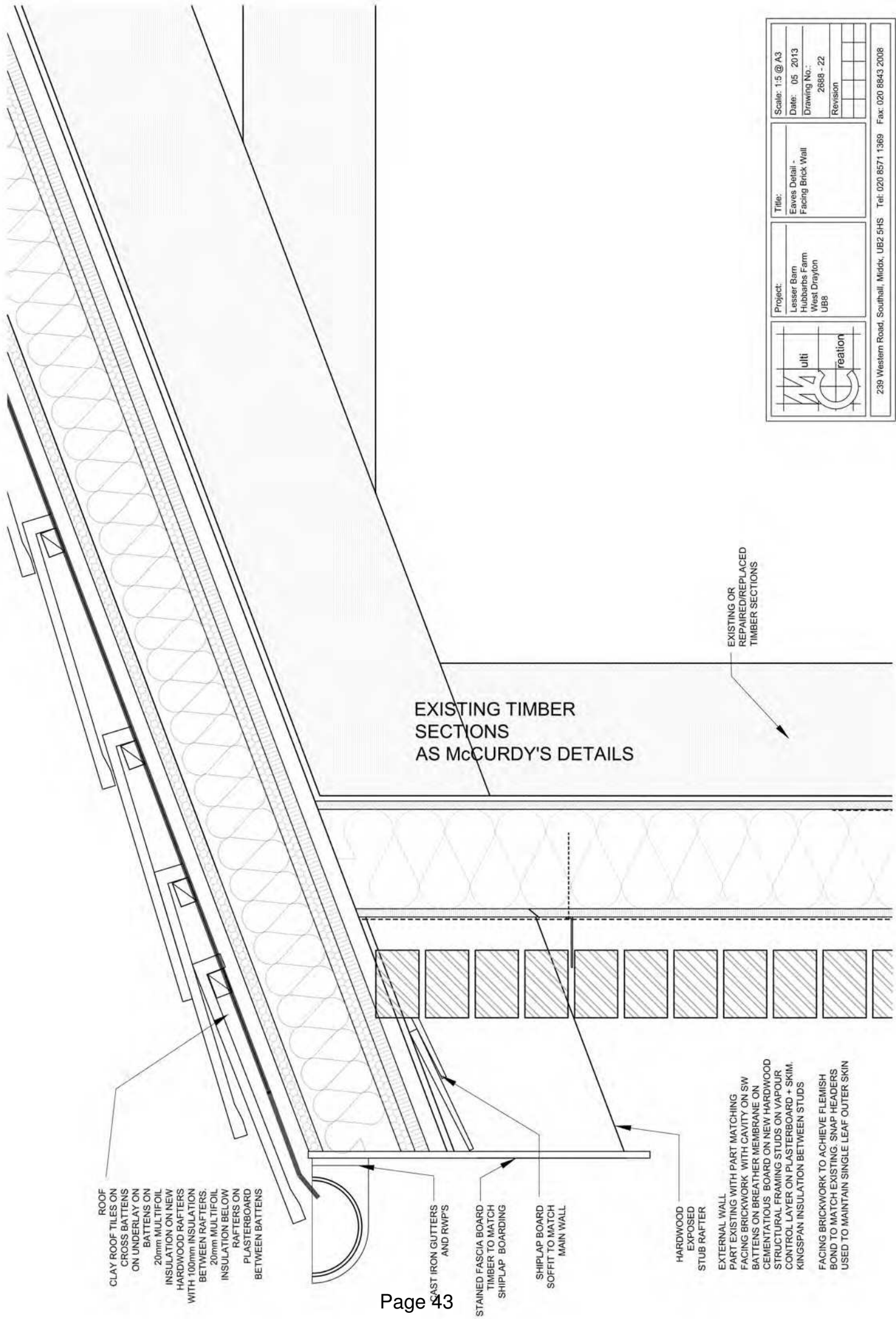
	Project:	Title:	Scale: 1:5 @ A3
	Lesser Barn Hubbarbs Farm West Drayton UB8	Eaves Detail	Date: 04 2013
			Drawing No.: 2688 - 13/MP
			Revision R1
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Eaves Detail D
Scale 1:5

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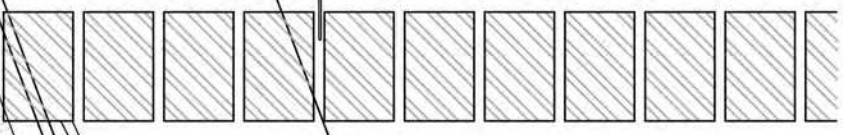
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	Lesser Barn Hubbarbs Farm West Drayton UB8	Eaves Detail	Date: 04 2013
			Drawing No.: 2688 - 11/MP
			Revision R1
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ROOF
 CLAY ROOF TILES ON
 CROSS BATTENS
 ON UNDERLAY ON
 BATTENS ON
 20mm MULTIFOIL
 INSULATION ON NEW
 HARDWOOD RAFTERS
 WITH 100mm INSULATION
 BETWEEN RAFTERS.
 20mm MULTIFOIL
 INSULATION BELOW
 RAFTERS ON
 PLASTERBOARD
 BETWEEN BATTENS

EXISTING TIMBER
 SECTIONS
 AS McCURDY'S DETAILS

EXISTING OR
 REPAIRED/REPLACED
 TIMBER SECTIONS



CAST IRON GUTTERS
 AND RWPS

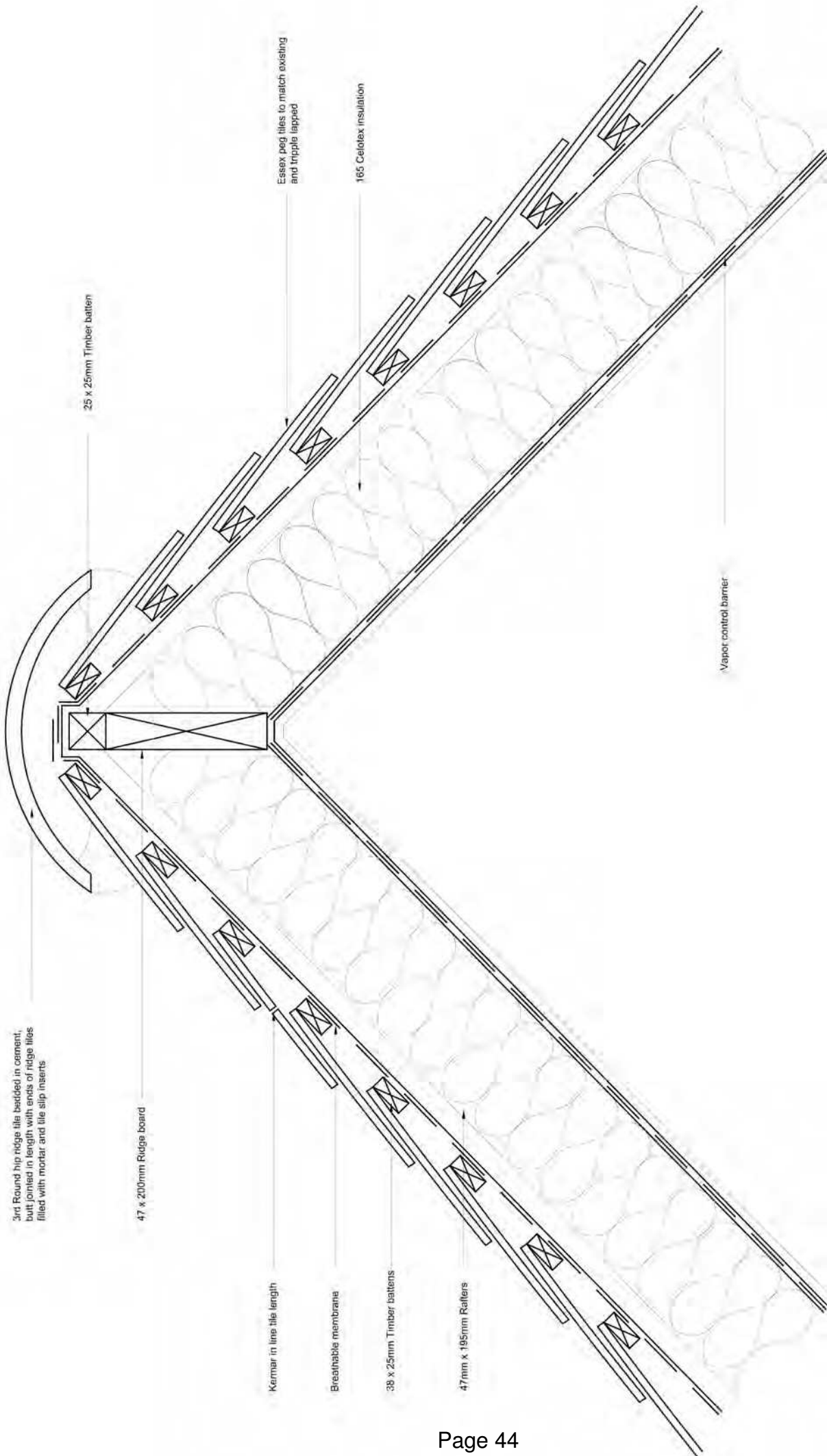
STAINED FASCIA BOARD
 TIMBER TO MATCH
 SHIPLAP BOARDING

SHIPLAP BOARD
 SOFFIT TO MATCH
 MAIN WALL

HARDWOOD
 EXPOSED
 STUB RAFTER

EXTERNAL WALL
 PART EXISTING WITH PART MATCHING
 FACING BRICKWORK WITH CAVITY ON SW
 BATTENS ON BREATHER MEMBRANE ON
 CEMENTIOUS BOARD ON NEW HARDWOOD
 STRUCTURAL FRAMING STUDS ON VAPOUR
 CONTROL LAYER ON PLASTERBOARD + SKIM.
 KINGSPAN INSULATION BETWEEN STUDS
 FACING BRICKWORK TO ACHIEVE FLEMISH
 BOND TO MATCH EXISTING. SNAP HEADERS
 USED TO MAINTAIN SINGLE LEAF OUTER SKIN

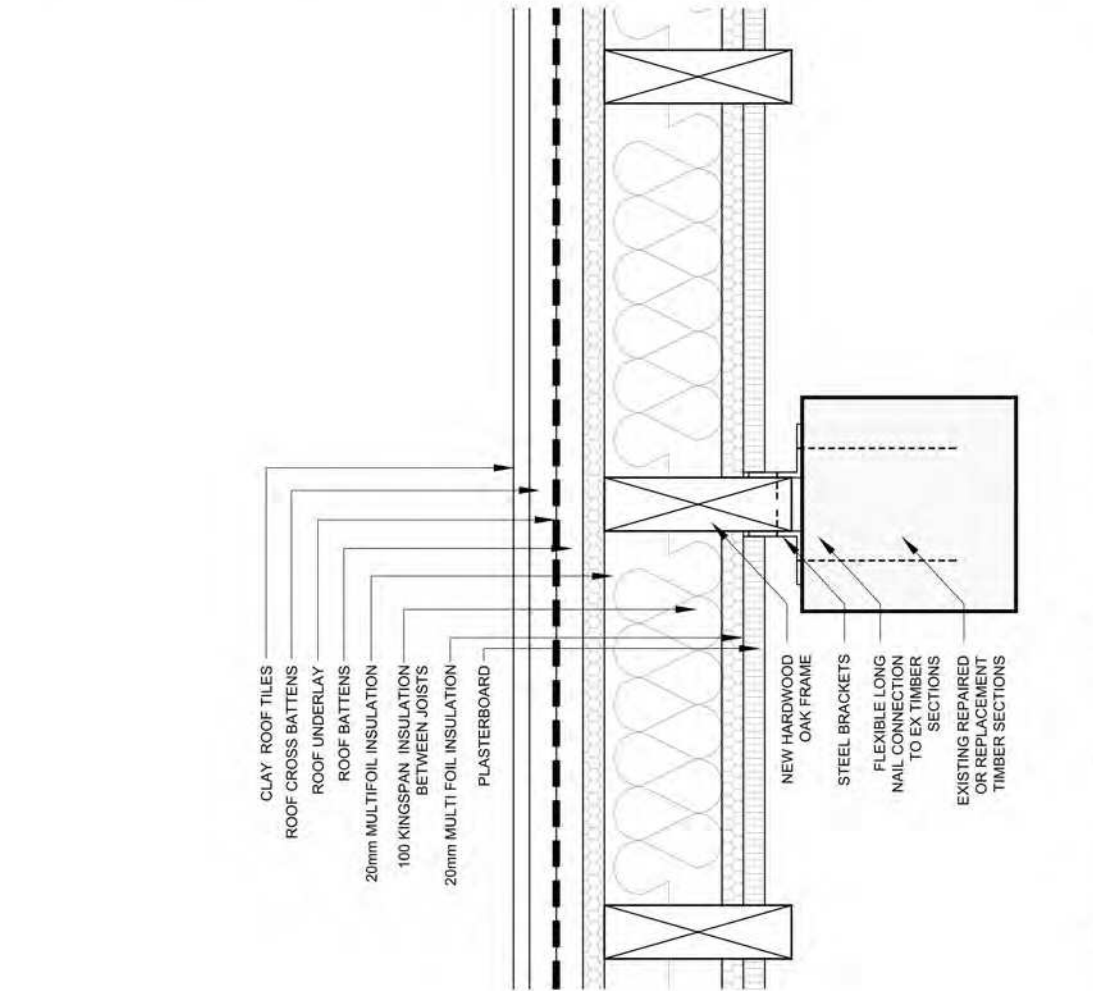
	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Eaves Detail - Facing Brick Wall	Scale: 1:5 @ A3 Date: 05 2013 Drawing No.: 2688 - 22			
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239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			2688 - 22			



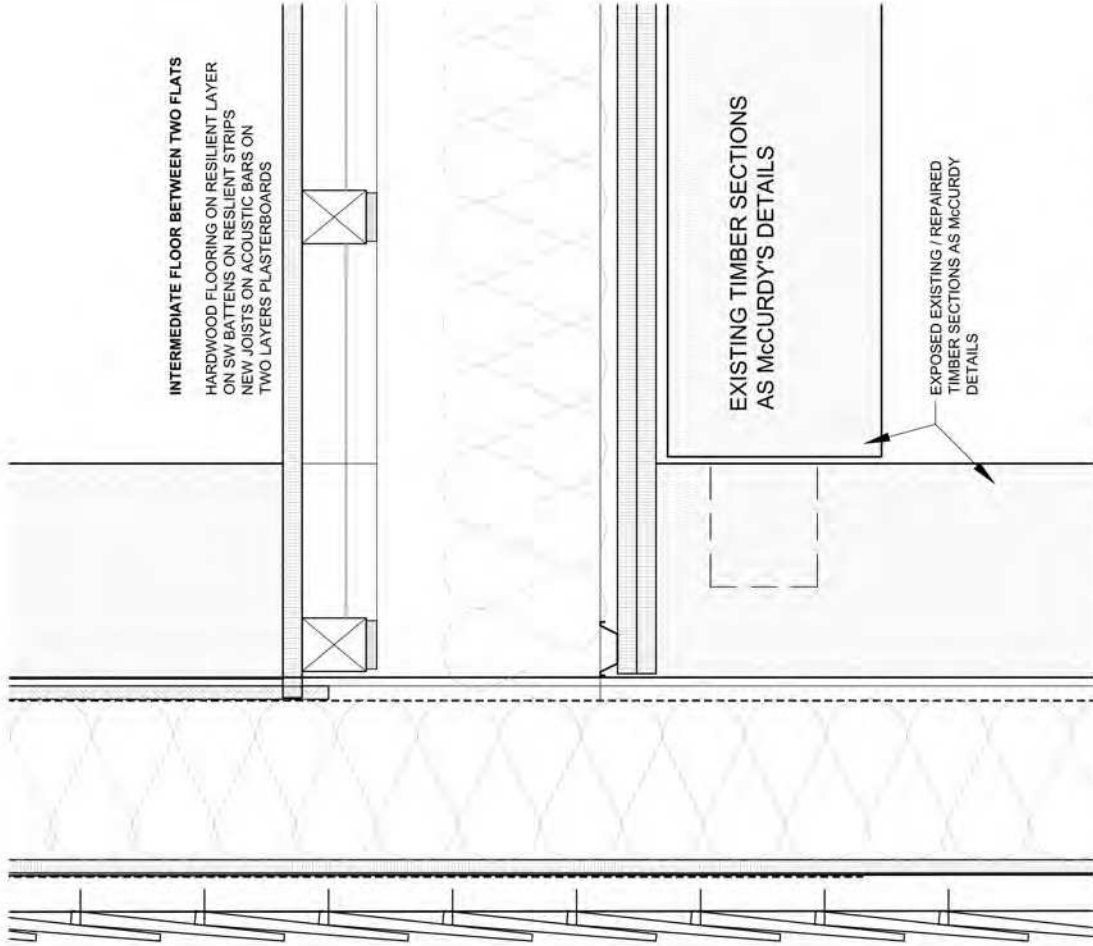
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Ridge Detail B
 Scale 1:5

	Project:	Lesser Barn Hubbarbs Farm West Drayton UB8	Title:	Ridge Detail	Scale:	1:5 @ A3
					Date:	04 2013
					Drawing No.:	2888 - 09/MP
					Revision	

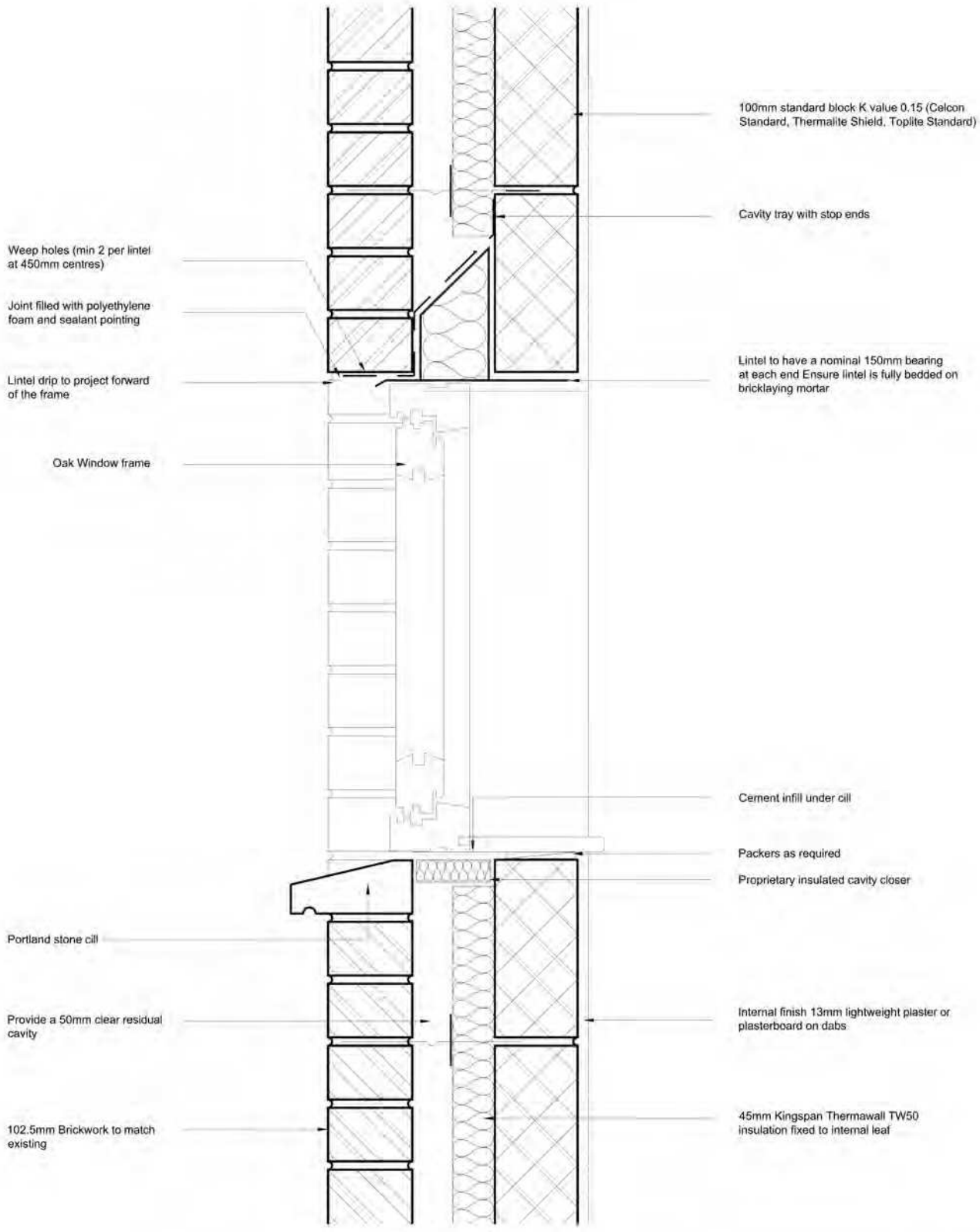


1. Section Through Roof Build Up



2. External Wall / intermediate Floor Junction

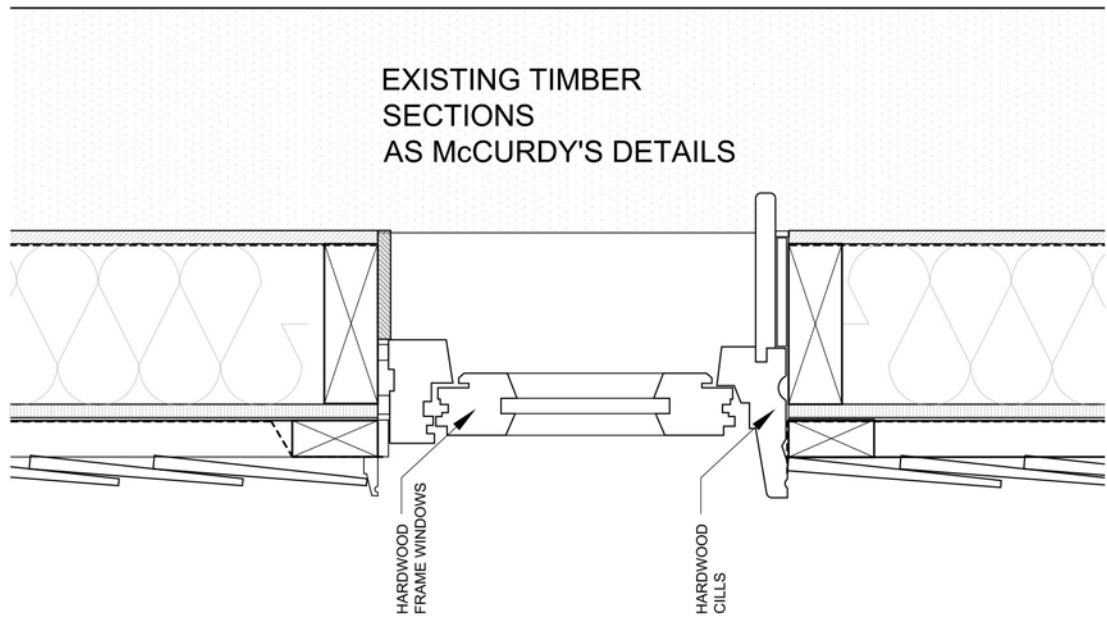
	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Roof Detail Floor / Wall Junction - Shiplap clad wall	Scale: 1:5 @ A3 Date: 05 2013 Drawing No.: 2688 - 18 Revision
	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		



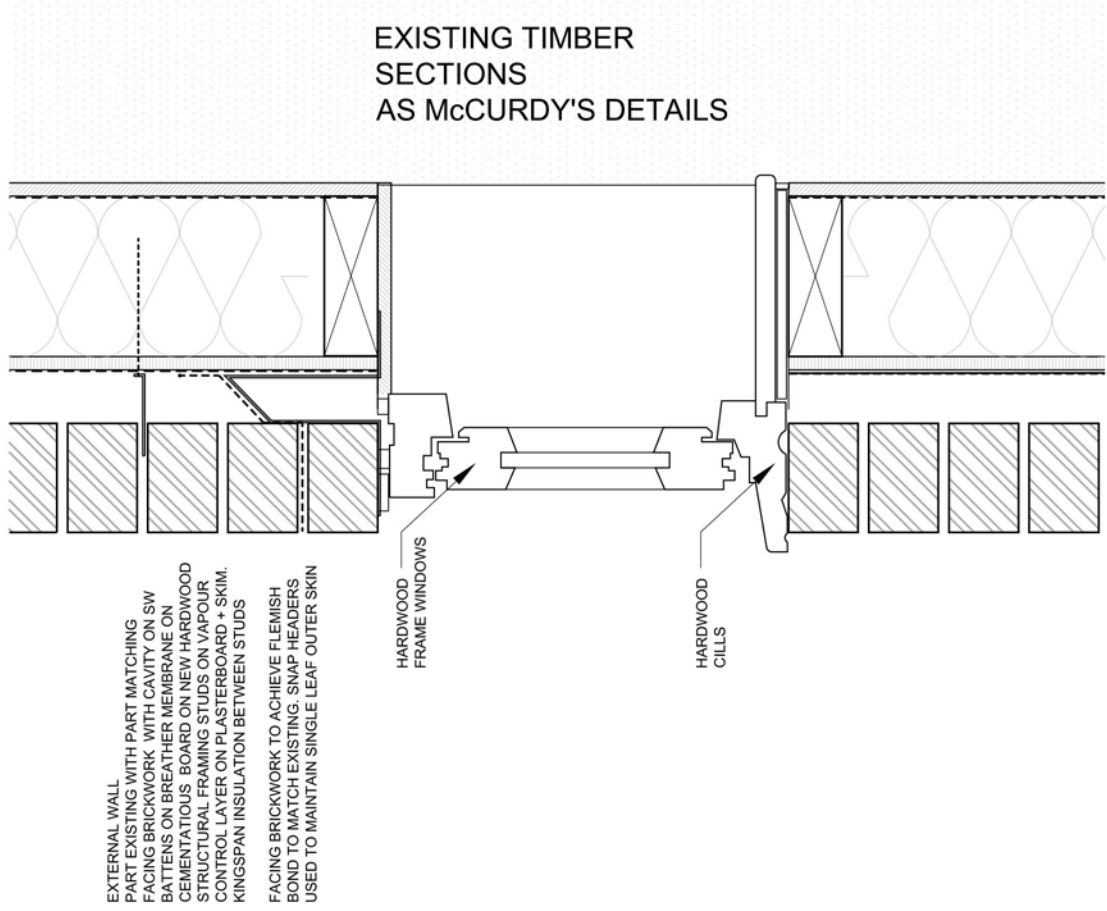
Window Detail A
Scale 1:5

CURRENT DRAWINGS ONLY
SHOW NEW CONSTRUCTION
ALL EXISTING STRUCTURE
TO BE RETAINED TO BE
DETAILED AFTER THE
RECEIPT OF McCURDY & cO
DETAILED PROPOSALS

	Project:	Title:	Scale: 1:5 @ A3
	Lesser Barn Hubbarbs Farm West Drayton UB8	Window Detail	Date: 04 2013
			Drawing No.: 2688 - 08/MP
			Revision R1
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			

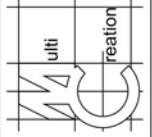


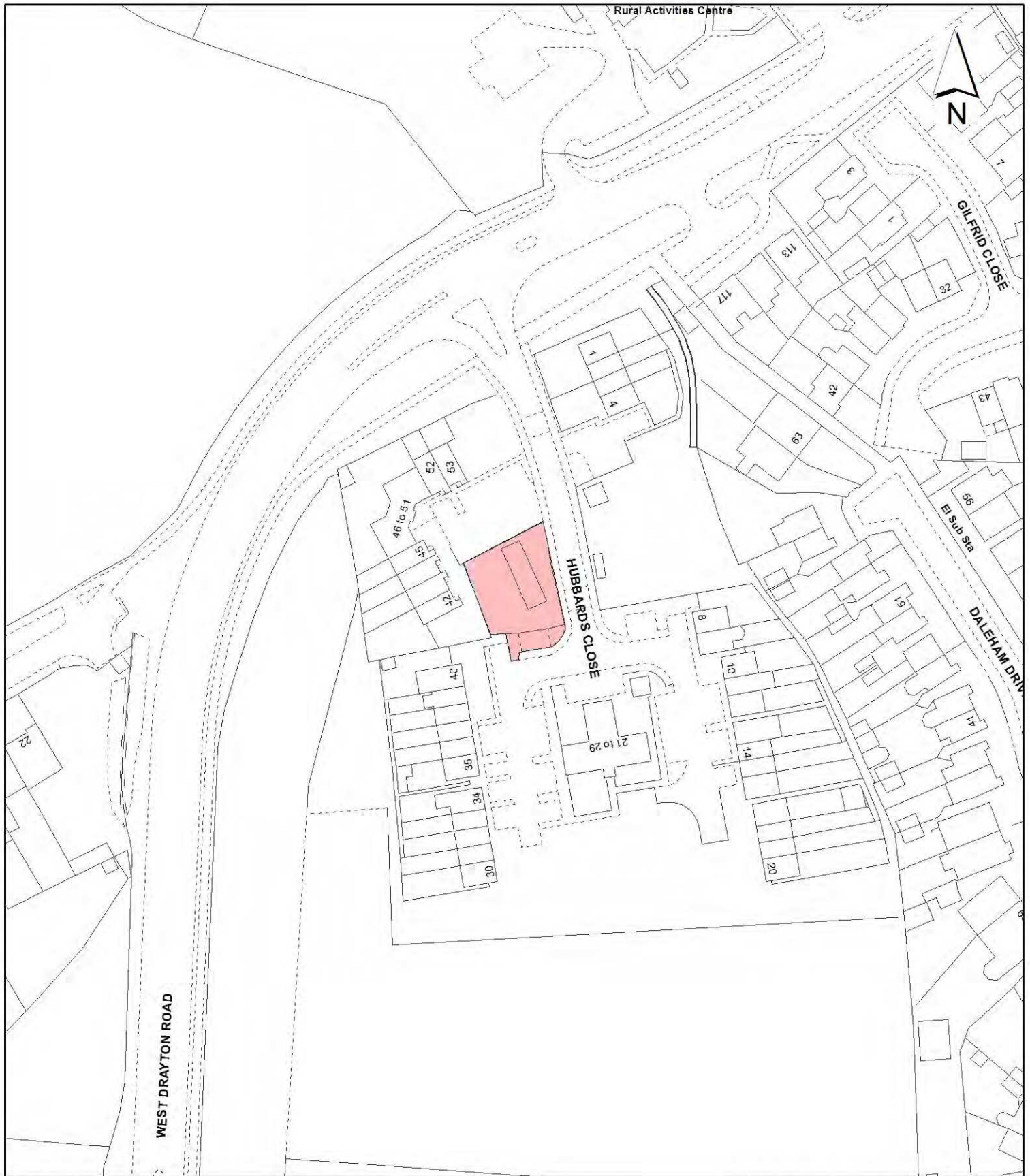
1. Window Head & Cill Detail
Timber Clad Wall



EXTERNAL WALL
PART EXISTING WITH PART MATCHING
FACING BRICKWORK - WITH CAVITY ON SW
BATTENS ON BREATHER MEMBRANE ON
CEMENTIOUS BOARD ON NEW HARDWOOD
STRUCTURAL FRAMING STUDS ON VAPOUR
CONTROL LAYER ON PLASTERBOARD + SKIM.
KINGSPAN INSULATION BETWEEN STUDS
FACING BRICKWORK TO ACHIEVE FLEMISH
BOND TO MATCH EXISTING. SNAP HEADERS
USED TO MAINTAIN SINGLE LEAF OUTER SKIN

2. Window Head & Cill Detail
Facing Brick Wall

	Project:	Lesser Barn Hubbarbs Farm West Drayton UB8
	Title:	Window Head & Cill Wall Details
Scale: 1:5 @ A3		Date: 05 2013
Drawing No.: 2688 - 21		Revision
239 Western Road, Southall, Middx, UB2 5HS		Tel: 020 8571 1369
		Fax: 020 8843 2008



Notes:

 Site boundary

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Site Address:

**Lesser Barn
 Hubbards Close**

**LONDON BOROUGH
 OF HILLINGDON**
**Residents Services
 Planning Section**
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
5971/APP/2016/3922

Scale:
1:1,250

Planning Committee:
Central & South

Date:
March 2017



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address THE LESSER BARN HUBBARDS CLOSE HILLINGDON

Development: Dismantling of existing farm outbuilding and reconstruction to accord with planning application ref: 5971/APP/2016/3922 (Rebuilding of existing barn with internal and external alterations to create two three-bedroom dwellings with associated parking and landscaping) (Application for Listed Building Consent).

LBH Ref Nos: **5971/APP/2013/1839**

Drawing Nos: 2688-05/MP Rev. R1 (Proposed Section B-B)
2688-06/MP Rev. R1 (Proposed Section A-A)
2688-08/MP Rev. R1 (Window Detail)
2688-11/MP Rev. R1 (Eaves Detail)
2688-13/MP Rev. R1 (Eaves Detail)
2688-16/MP (Penny Copeland Survey Ground Floor Plan)
2688-17/MP (Penny Copeland Survey Ground Floor Plan)
2688-01/MP (Existing Ground Floor Plan before Collapse of Lesser Barn)
Planning Statement
2688-07/MP (Specification Notes)
2688-09/MP (Ridge Detail)
2688-10/MP (Foundation Detail)
2688-12/MP (Foundation Detail)
2688-15/MP
Building Report
Method Statement for the Dismantling of the Existing Structure
Preliminary Archaeological Recording Drawings
2688-02/MP (Existing Elevations)
2688-23 (External Wall Details - Facing Brick Wall)
2688-24 (Foundation Detail - Intermediate Floor - Facing Brick Wall)
2688-22 (Eaves Detail - Facing Brick Wall)
2688-21 (Window Head & Cill Wall Details)
2688-20 (External Wall Details - Timber Cladd Wall)
2688-19 (Foundation Detail - Intermediate Floor Detail)
2688-18 (Roof Detail - Floor-Wall Junction - Shiplap Clad Wall)
2688-14/MP Rev. R3 (Proposed Elevations)
2688-04/MP Rev. R3 (Proposed First Floor Plan)
2688-03/MP Rev. R3 (Proposed Ground Floor Plan)
Phase 2 Method Statement
Statement of Significance
Update Report dated 30 January 2017
Updated Timber Frame Condition Survey January 2017

Date Plans Received:	02/07/2013	Date(s) of Amendment(s):	04/06/2014
Date Application Valid:	28/10/2013		09/02/2014
			29/05/2014
			27/11/2013
			02/07/2013
			03/02/2017

REASON FOR URGENCY

A decision is urgently required to ensure that funding for the project is secured.

1. CONSIDERATIONS

1.1 Site and Locality

The application site is located on the western side of Hubbards Close and comprises of the Hubbards Farm Lesser Barn. 42-53 Hubbards Close and associated parking is located north-west of the site. An area of parking is located on the southern boundary while the Grade II Listed Hubbards Farm Greater Barn is located on the opposite side of Hubbards Close. The application site is located within an area of Green Belt.

1.2 Proposed Scheme

Listed Building Consent is sought for the dismantling of the existing farm outbuilding and reconstruction to accord with planning application ref: 5971/APP/2016/3922, for the rebuilding of a Grade II Listed Barn (Hubbards Farm Lesser Barn) with internal and external alterations to create two three-bedroom dwellings with associated parking and landscaping.

The Lesser Barn was previously used as stables which ceased use in 2000. Since this time the Lesser Barn became increasingly derelict such that it collapsed and has been dismantled by a specialist contractor, recorded and stored on site for reinstatement.

1.3 Relevant Planning History

5971/APP/2003/2976 Lesser Barn, Hubbards Farm, Hubbards Close West Drayton F
CONVERSION OF BARN TO TWO-BEDROOM DWELLING INVOLVING INTERNAL AND EXTERNAL ALTERATIONS TO EXISTING BARN AND ERECTION OF DETACHED OUTBUILDING TO REAR WITH ASSOCIATED PARKING AND LANDSCAPING

Decision Date: 09-11-2004 **Approved** **Appeal:**

5971/APP/2003/2978 Lesser Barn, Hubbards Farm, Hubbards Close West Drayton F
CONVERSION OF BARN TO TWO-BEDROOM DWELLING INVOLVING AND EXTERNAL ALTERATIONS TO EXISTING BARN AND ERECTION OF DETACHED OUTBUILDING TO REAR WITH ASSOCIATED PARKING AND LANDSCAPING (APPLICATION FOR LISTED BUILDING CONSENT)

Decision Date: 09-11-2004 **Approved** **Appeal:**

5971/APP/2007/2146 Lesser Barn, Hubbards Farm, Hubbards Close West Drayton R
CONVERSION OF LESSER BARN TO 2 THREE-BEDROOM DWELLINGS INVOLVING INTERNAL AND EXTERNAL ALTERATIONS TO EXISTING BARN WITH ASSOCIATED PARKING AND LANDSCAPING

Decision Date: 26-02-2008 **Approved** **Appeal:**

5971/APP/2007/2177 Lesser Barn, Hubbards Farm, Hubbards Close West Drayton F
CONVERSION OF BARN TO TWO THREE BEDROOM DWELLINGS INVOLVING INTERNAL AND EXTERNAL ALTERATIONS TO EXISTING BARN WITH ASSOCIATED PARKING AND LANDSCAPING (APPLICATION FOR LISTED BUILDING CONSENT)

Decision Date: 26-02-2008 **Approved** **Appeal:**
5971/APP/2011/2438 Lesser Barn Hubbards Close Hillingdon
Conversion of lesser barn to two three-bedroom dwellings involving internal and external alterations to existing barn with associated parking and landscaping.

Decision Date: 18-04-2012 **Approved** **Appeal:**
5971/APP/2012/122 Lesser Barn, Hubbards Farm, Hubbards Close West Drayton F
Conversion of Lesser barn to two 3-bedroom dwellings, involving internal and external alterations to existing barn, with associated parking and landscaping (Application for Listed Building Consent).

Decision Date: 18-04-2012 **Approved** **Appeal:**
5971/APP/2016/3922 Lesser Barn Hubbards Close Hillingdon
Rebuilding of existing barn with internal and external alterations to create two three-bedroom dwellings with associated parking and landscaping

Decision Date: **Appeal:**

Comment on Planning History

The associated planning application ref: 5971/APP/2016/3922 is a re-submission of the 2012 approved application ref: 5971/APP/2011/2438, which has since expired.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- 27th November 2013

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

EXTERNAL

Consultation letters were sent to 36 local owners/occupiers. No responses were received.

English Heritage:

There is considerable significance in the historic fabric of the Grade II Listed Hubbards' Barn, and English Heritage regrets that it has been allowed to deteriorate to the point of collapse. Under the circumstances, however, we agree that the proposed dismantling and rebuilding of the structure is the most appropriate solution to secure the long-term sustainable management of the heritage asset.

However, we are concerned that should listed building consent be granted for the demolition and rebuild, the owner has no obligation under planning law to re-erect the barn. We therefore suggest that your authority enters into a legal agreement with the owner to ensure the barn is re-erected in a given timescale. The legal agreement should be entered into at the same time as the granting of listed building consent, as it may not be possible to enter into an agreement once listed building consent is authorised.

Our legal department at English Heritage would be happy to assist your authority's own legal department should you require assistance in this matter. Please contact me in the

first instance to discuss.

Recommendation

Providing that the above issues are addressed, we would be minded to direct as to the granting of listed building consent. We therefore look forward to confirmation that your authority agrees to enter into a legal agreement with the owner of the barn, to ensure its restoration.

INTERNAL

Conservation Officer:

This is one of two Grade II Listed barns on the site, the larger barn dating from the 16th century and the lesser barn dating from the 15th century, both are included on the EH Buildings at Risk Register. The current owner purchased the barns circa 2012 and works started to prop the structures, which were in a derelict state. The large barn, however, collapsed before this could be put in place, and despite some propping of the smaller structure, this blew over in a spate of bad weather. Since that time, both of the structures have been dismantled by a specialist contractor, recorded and stored on site for reinstatement, a report on the salvaged frame elements is included as part of the application.

COMMENTS: The proposals are to rebuild the Lesser Barn, reusing the salvaged timbers/materials wherever possible and introducing new timbers where they have been lost. The structural integrity of the timber frame will be restored and will form the core of the new structure.

The design of the elevations is very similar to that of the previous approvals for the residential conversion, with just a few minor changes to the fenestration and less roof lights.

CONCLUSION: A Section 106 Agreement and/or a bond are required to ensure that both barns, the original granary and the removed wing to the Greater Barn are all returned to the site and reinstated as part of the works within a specified time frame. There is a danger that without this legal undertaking that the structures will be removed from site and not returned. A condition is less enforceable.

Conditions should be attached to any approval to cover items noted below and should be submitted for approval prior to the relevant part of the work commencing:

- Full details of the repair to the existing timber frames to the barn and a schedule of salvaged materials for reuse with their proposed locations
- Adjustments to final drawings (elevations/ floor plans and cross sections) to incorporate the repaired frames and studding without alteration
- Details of new frame elements, including roof construction, to be submitted
- Full constructional details and methodology for reconstruction, including details of floor levels and fixing of new to old fabric
- Notwithstanding the submitted drawings, details of the insulation of the walls and roof
- Notwithstanding the submitted drawings, further details of the footings and new plinth
- Downpipes, gutters and hoppers
- A sample panel of brickwork to be agreed on site, bricks, mortar mix and pointing style to be agreed

- Type and location of flues, vents and SVPs
- Samples of materials and finishes for all external elevations and roof
- Details of the materials, design and construction of all new roof lights, windows, external doors, cills and thresholds
- Details of design and materials of all internal joinery
- Partition construction- all new partitions to be scribed around original features and frame elements
- A hard and soft landscaping scheme to be provided
- Details of designs and materials for the boundary treatment and bin store
- Notwithstanding the submitted drawings, a revised eaves detail to be submitted

Whilst the archaeology of the site has been investigated, we need to include a further condition as requested by GLAAS.

We should be seeking Conservation and Management plans for the historic structures on the site via S106.

CONCLUSION: No objection subject to the above.

4. UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.HE1 (2012) Heritage

Part 2 Policies:

BE8 Planning applications for alteration or extension of listed buildings

BE9 Listed building consent applications for alterations or extensions

BE10 Proposals detrimental to the setting of a listed building

NPPF7 NPPF - Requiring good design

NPPF12 NPPF - Conserving & enhancing the historic environment

5. MAIN PLANNING ISSUES

The main planning issue relates to the impact the proposal would have on the Grade II Listed Hubbards Farm Lesser Barn. The Lesser Barn was previously used as stables which ceased use in 2000. Since this time the Lesser Barn became increasingly derelict; the Lesser Barn has now collapsed and has been dismantled by a specialist contractor, recorded and stored on site for reinstatement; in January 2017 the specialist contractor carried out an updated survey to assess the current condition of the timber frame.

Policy BE8 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) will not permit applications to alter or extend Listed Buildings where damage may be caused to the historic structure. External and internal alterations should harmonise with their surroundings. Policy BE10 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) will not grant permission for proposals that are detrimental to the setting of the Listed Building.

The proposed scheme seeks to rebuild and restore the Grade II Listed Lesser Barn in order to allow for the conversion of the Lesser Barn to two three-bedroom dwellings involving internal and external alterations to the existing barn with associated parking and landscaping (planning permission is being sought under planning application ref: 59715971/APP/2016/3922).

It is considered that the proposed works to the Lesser Barn would reuse the salvaged timbers where possible and insert new timbers where required in order to restore the structural integrity of the timber frame. The Council's Conservation Officer raises no objection to the proposal subject to the provision of additional information through the use of suitable conditions.

The proposed scheme is considered to comply with Policies BE8 and BE10 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012). It is therefore recommended that Listed Building Consent is granted.

6. RECOMMENDATION

That delegated powers be given to the Head of Planning and Enforcement to grant planning permission, subject to any relevant amendments agreed by the Head of Planning and Enforcement and the following:

A. That the Council enters into a legal agreement with the applicant under Section 106 of the 1990 Town & Country Planning Act (as amended) or other appropriate legislation to secure:

1. The Lesser Barn shall be returned to the site and reinstated as part of the works within a specified time frame.

B. That officers be authorised to negotiate and agree the detailed terms of the proposed agreement.

C. If the Legal Agreement has not been finalised within 3 months, under the discretion of the Head of Planning and Enforcement, the application is refused under delegated powers on the basis that the applicant has failed to return and reinstate The Lesser Barn.

D. That if the application is approved, the following conditions be attached:

1 **LB1** **Time Limit (3 years) - Listed Building Consent**

The works hereby permitted shall be begun before the expiration of three years from the date of this consent.

REASON

To comply with Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

2 LB4 Storage of salvaged items

Salvaged items approved for re-use as part of this consent shall be securely stored on site (or subject to the Local Planning Authority's agreement, elsewhere) until employed again and Council officers shall be allowed to inspect them.

REASON

To safeguard the special architectural and/or historic interest of the building in accordance with Policy BE8 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)

3 LB9 Samples of materials

Samples of all materials and finishes to be used for all external surfaces of the building, including bricks, mortar mix, pointing style and roof materials, shall be submitted to and approved in writing by the Local Planning Authority before the relevant part of the work is begun. A sample panel of brickwork is to be agreed on site.

REASON

To safeguard the special architectural and/or historic interest of the building in accordance with Policy BE8 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)

4 LB11 Further Details (Listed Buildings)

Detailed drawings or samples of materials, as appropriate, in respect of the following shall be submitted to and approved in writing by the Local Planning Authority before the relevant part of the work is begun:

- (a) New frame elements, including roof construction
- (b) Full constructional details and methodology for reconstruction, including details of floor levels and fixing of new to old fabric
- (c) Insulation of the walls and roof
- (d) Footings and new plinth
- (e) Downpipes, gutters and hoppers
- (f) Type and location of flues, vents and SVPs
- (g) All new roof lights, windows, external doors, cills and thresholds (to include materials, design and construction)
- (h) Internal joinery
- (i) Revised eaves detail

REASON

To safeguard the special architectural and/or historic interest of the building in accordance with Policy BE8 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)

5 NONSC Details of repair & Schedule of salvaged materials

Prior to the relevant part of the work commencing, full details of the repair to the existing timber frames to the barn and a schedule of salvaged materials for reuse with their proposed locations, shall be submitted to and approved in writing by the Local Planning Authority.

REASON

To safeguard the special architectural and/or historic interest of the building in accordance with Policy BE8 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)

6 NONSC Repaired frames and studding without alteration

Prior to the relevant part of the work commencing, adjustments to final drawings (elevations/floor plans and cross sections) to incorporate the repaired frames and studding without alteration shall be submitted to and approved in writing by the Local Planning Authority.

REASON

To safeguard the special architectural and/or historic interest of the building in accordance with Policy BE8 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)

7 NONSC Partition construction

All new partitions are to be scribed around original features and frame elements.

REASON

To safeguard the special architectural and/or historic interest of the building in accordance with Policy BE8 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)

8 RES9 Landscaping (car parking & refuse/cycle storage)

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include:

1. Details of Soft Landscaping

- 1.a Planting plans (at not less than a scale of 1:100),
- 1.b Written specification of planting and cultivation works to be undertaken,
- 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate

2. Details of Hard Landscaping

- 2.a Refuse Storage
- 2.b Cycle Storage
- 2.c Means of enclosure/boundary treatments
- 2.d Car Parking Layouts
- 2.e Hard Surfacing Materials
- 2.f External Lighting
- 2.g Other structures (such as play equipment and furniture)

3. Details of Landscape Maintenance

- 3.a Landscape Maintenance Schedule for a minimum period of 5 years.
- 3.b Proposals for the replacement of any tree, shrub, or area of surfing/seedling within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.

4. Schedule for Implementation

5. Other

- 5.a Existing and proposed functional services above and below ground
- 5.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policy 5.17 (refuse storage) of the London Plan (July 2011)

9 OTH2 Archaeology

A) No development shall take place until the applicant (or their heirs and successors in title) has secured the implementation of a programme of archaeological works in accordance with a Written Scheme of Investigation which has been submitted by the applicant and approved by the Local Planning Authority.

B) No development or demolition shall take place other than that in accordance with the Written Scheme of Investigation approved under Part (A).

C) The development shall not be occupied until the site investigation and post investigation assessment has been completed in accordance with the programme set out in the Written Scheme of Investigation approved under Part (A), and the provision made for analysis, publication and dissemination of the results and archive deposition has been secured.

REASON

Heritage assets of archaeological interest survive on the site. The Planning Authority wishes to secure the provision of archaeological investigation and the subsequent recording of the remains prior to development, in accordance with recommendations given by the borough and in PPS 5 and Policy BE3 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

INFORMATIVES

1 The decision to GRANT Listed Building Consent has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 The decision to GRANT Listed Building Consent has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

BE8 Planning applications for alteration or extension of listed buildings

BE9 Listed building consent applications for alterations or extensions

BE10 Proposals detrimental to the setting of a listed building

NPPF7 NPPF - Requiring good design

NPPF12 NPPF - Conserving & enhancing the historic environment

3 You are advised this permission is based on the dimensions provided on the

approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

- 4** Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

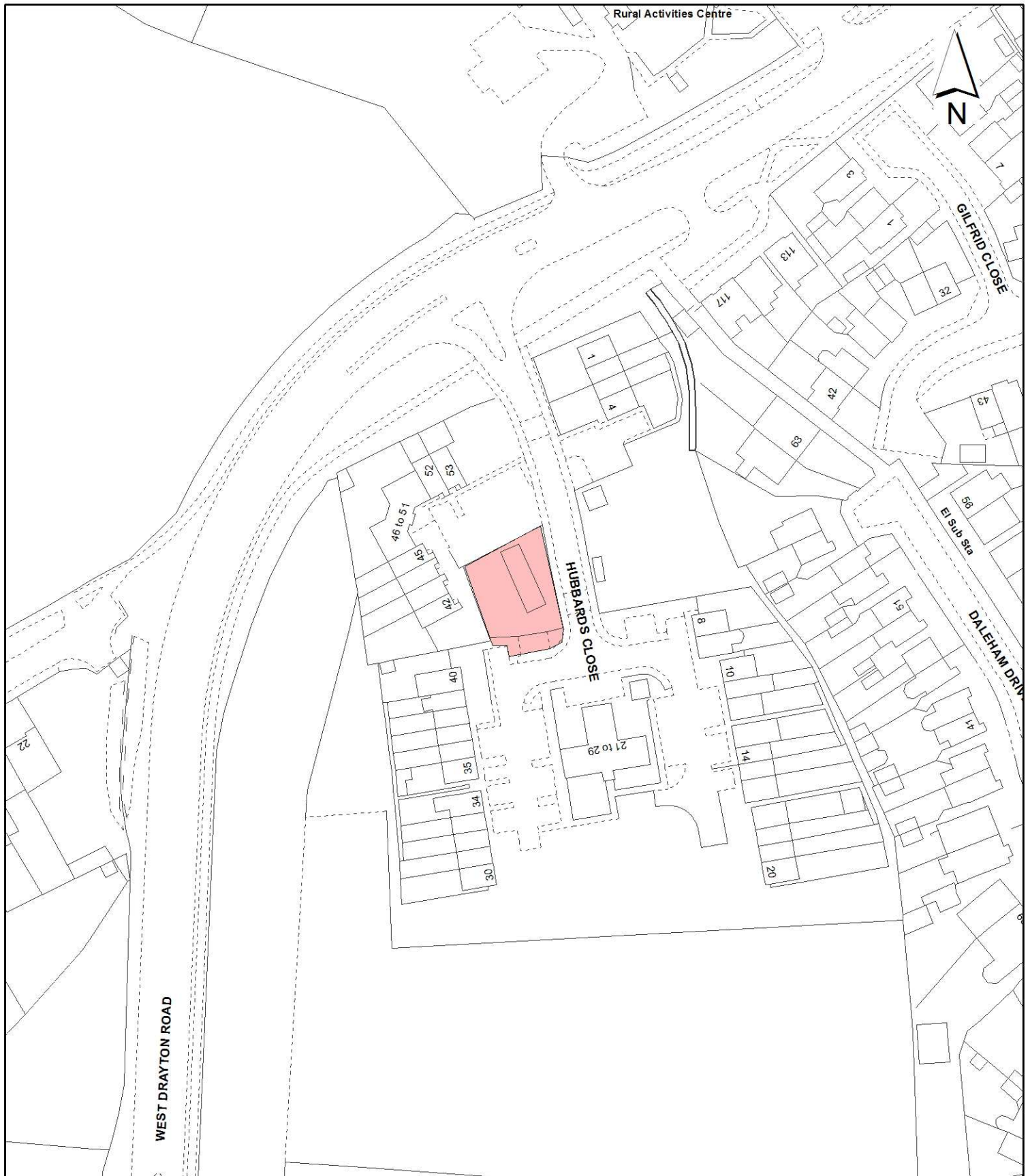
C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance' The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

Contact Officer: Katherine Mills

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

**Lesser Barn
 Hubbards Close**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
5971/APP/2013/1839

Scale:
1:1,250

Planning Committee:
Central & South

Date:
April 2017



HILLINGDON
 LONDON

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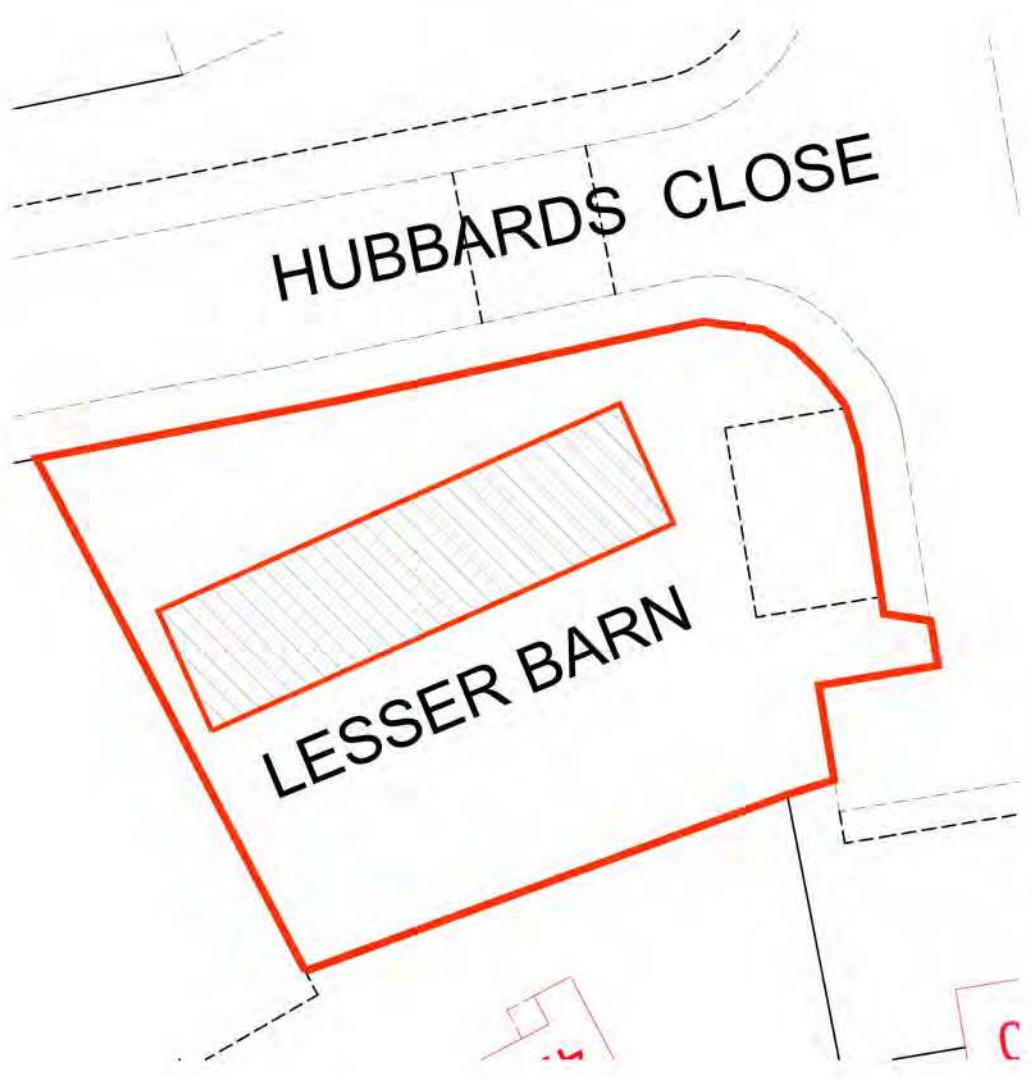
Report of the Head of Planning, Sport and Green Spaces

Address THE LESSER BARN HUBBARDS CLOSE HILLINGDON

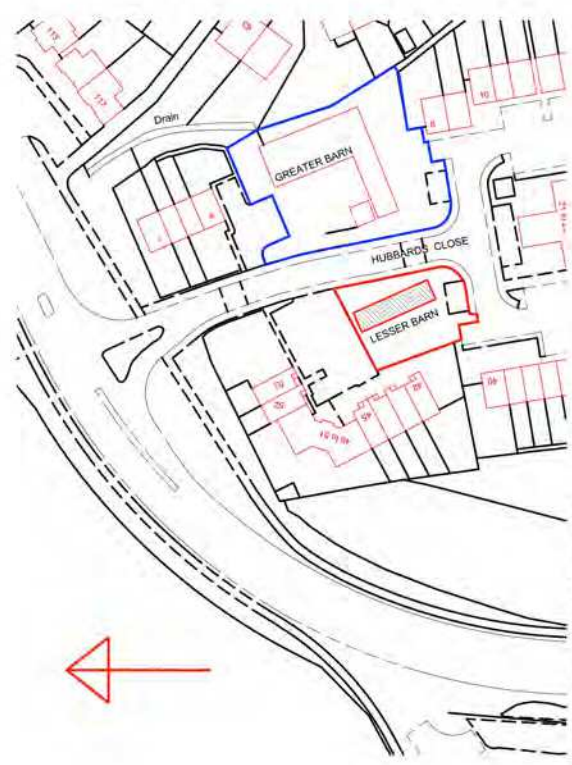
Development: Dismantling of existing farm outbuilding and reconstruction to accord with planning permission ref: 5971/APP/2011/2438, dated 18-04-12 (Conversion of Lesser Barn to two three-bedroom dwellings involving internal and external alterations to existing barn with associated parking and landscaping)
(Application for Listed Building Consent)

LBH Ref Nos: 5971/APP/2013/1839

Date Plans Received:	02/07/2013	Date(s) of Amendment(s):	02/07/2013
Date Application Valid:	28/10/2013		04/06/2014
			09/02/2014
			19/02/2014
			29/05/2014

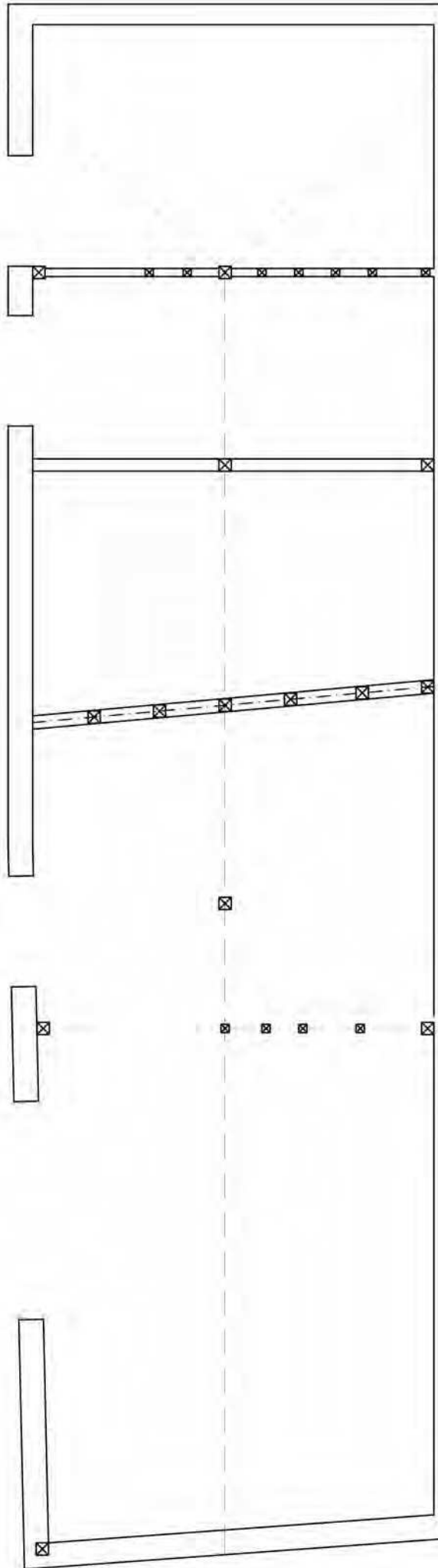


Site Block Plan i:200



Site Location Plan i:1250

	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Site Location Plan Site Block Plan	Scale: 1:100 @ A3 Date: 05 2013 Drawing No.: 2688 - 15/MP Revision
	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		



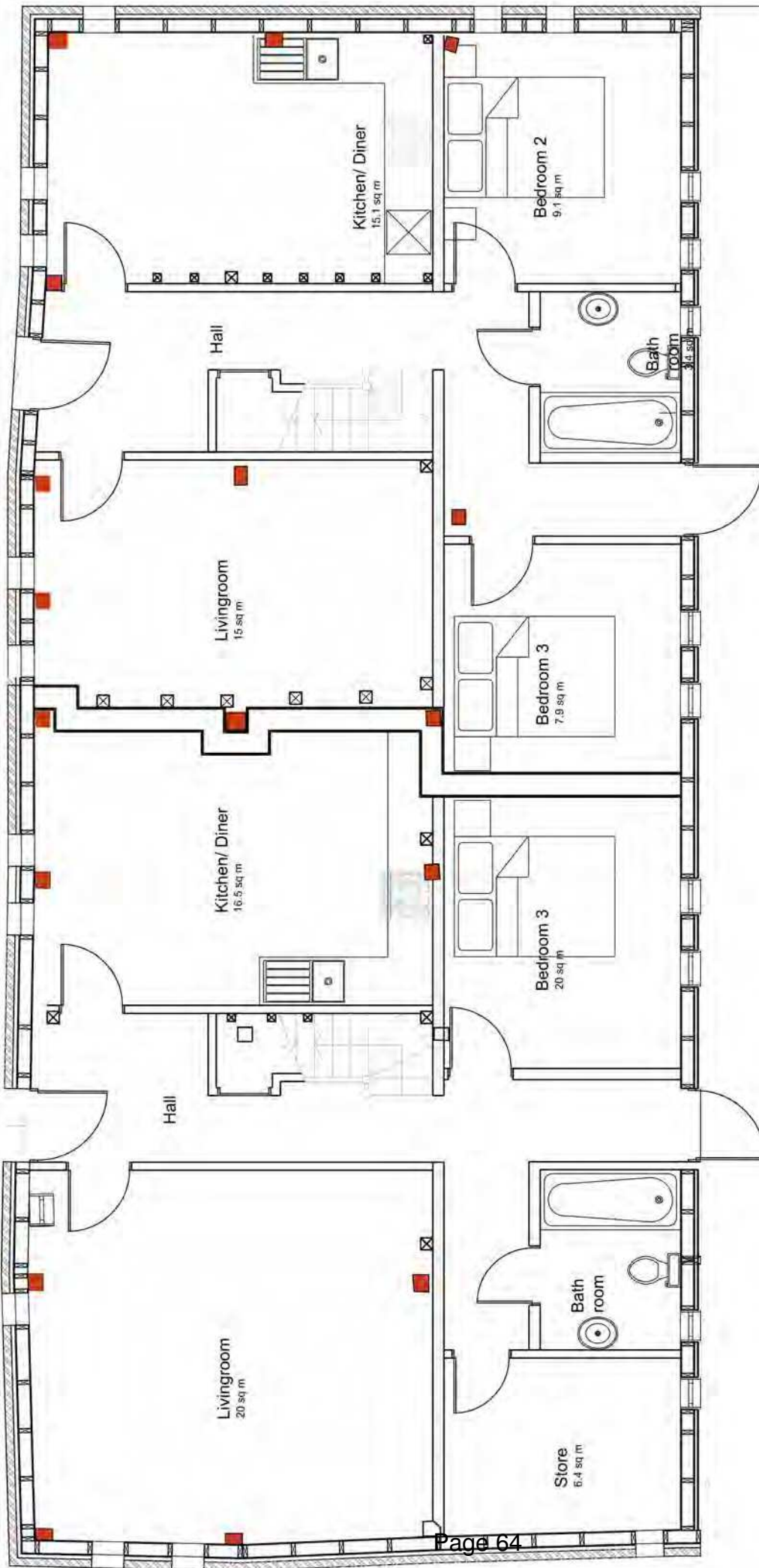
Existing Ground Floor Plan

Scale 1:50

Note:
 Existing Plan shows the outline
 of the existing structure prior to
 any subsequent partial collapse
 or dismantling of walls, or timberwork



	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Existing Ground Floor Plan	Scale: 1:50 @ A3 Date: 05/2013 Drawing No.: 2888 - 01/MP					
	Revision <table border="1"> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>							
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008								



Note
 Position of existing timber posts are shown in
 approximate locations, and are base on McCurdy
 & Co site survey dated Feb 2014. On the
 completion of the dated workshop survey and
 remedial work report, the exact position of the
 columns will be finalised

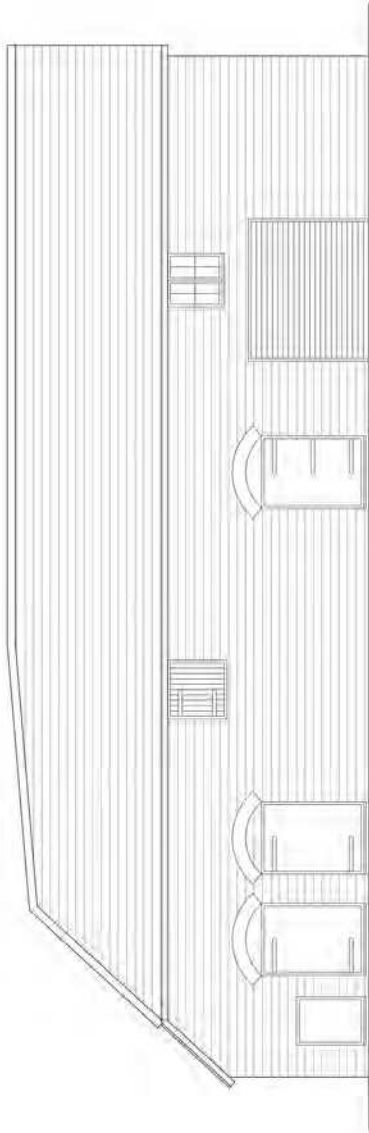
Note
 R3. Ex column & window positions amended
 Wall construction amended

1:50

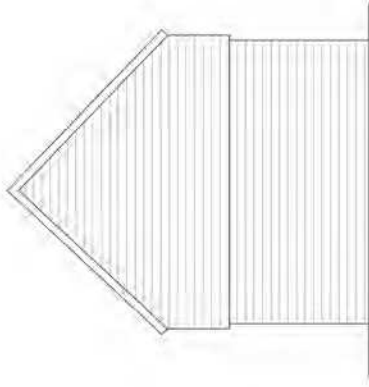


1 2 3 4 5 6 7 8 9

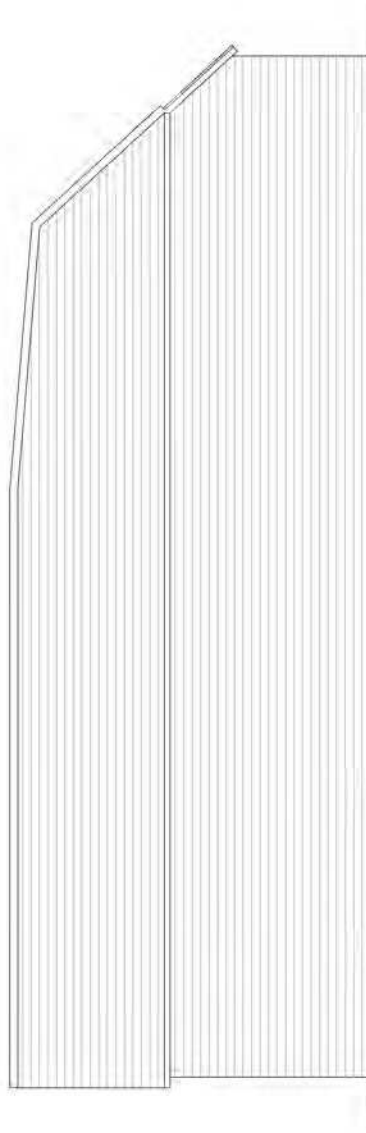
	Project: Lesser Barn Huoburbs Farm West Drayton UB8	Title: Proposed Ground Floor Plan	Scale: 1:100 @ A3 Date: 04 2013 Drawing No.: 2688 - 03/MP Revision: R3
	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		



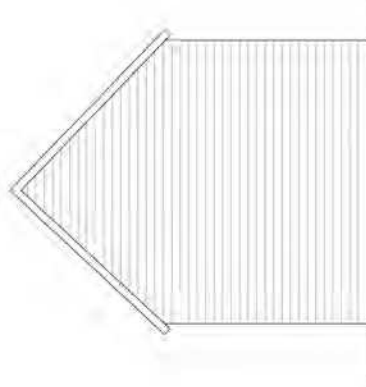
Existing East Elevation
Scale 1:100



Existing South Elevation
Scale 1:100



Existing West Elevation
Scale 1:100

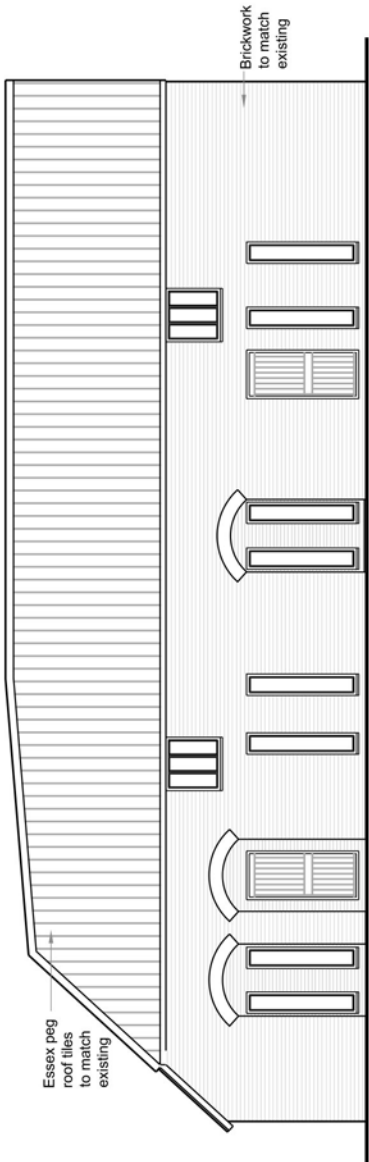


Existing North Elevation
Scale 1:100

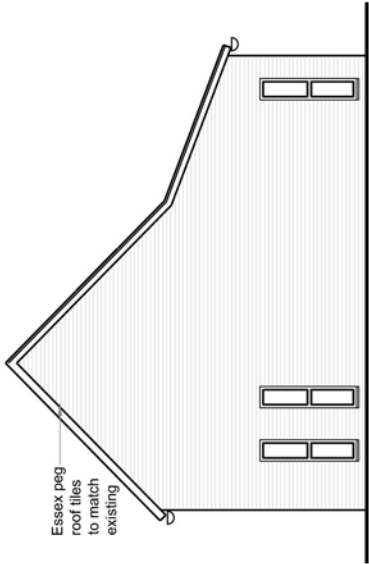
Note
Existing elevations will mean the structure as existing prior to any partial or complete collapse of the fabric



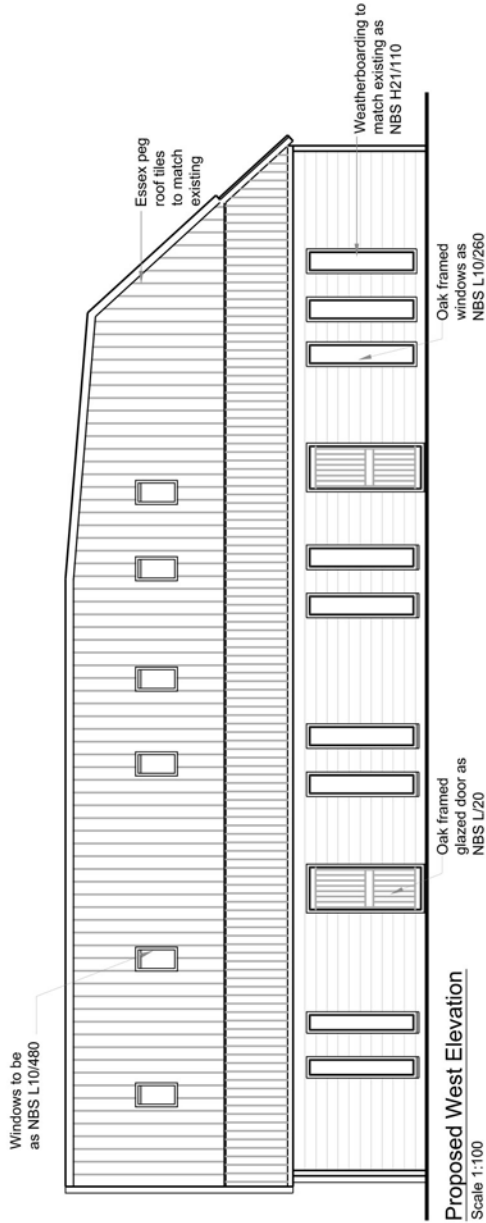
	Project: Lisser Barn Hubbarbs Farm West Drayton UB8	Title: Existing Elevations	Scale: 1:100 @ A3 Date: 05 2013 Drawing No.: 2888 - 02/MP Revision
	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		



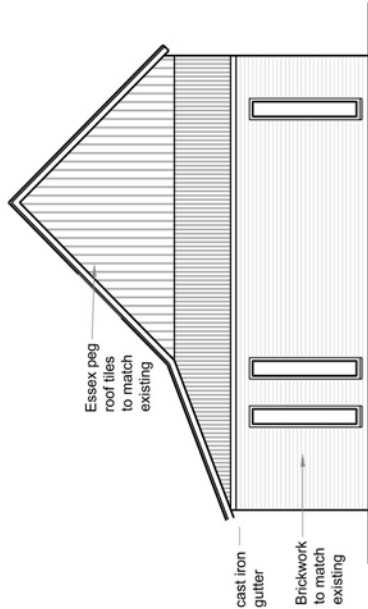
Proposed East Elevation
Scale 1:100



Proposed South Elevation
Scale 1:100



Proposed West Elevation
Scale 1:100

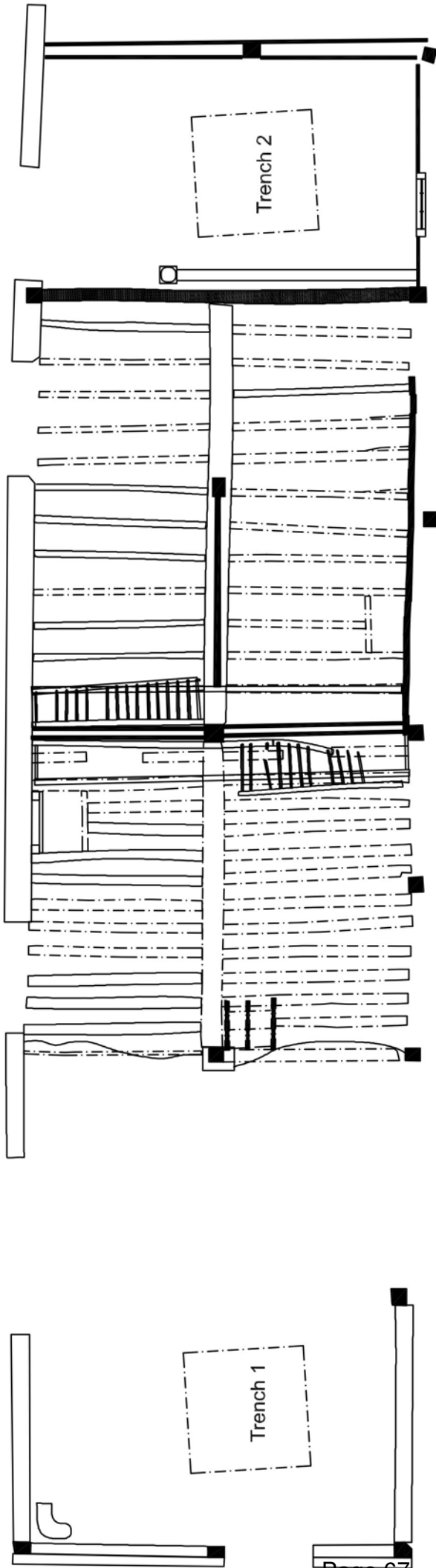


Proposed North Elevation
Scale 1:100

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ALL EXISTING STRUCTURE
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DETAILED AFTER THE
RECEIPT OF McCURDY & CO
DETAILED PROPOSALS

	Project: Lesser Barn Hubbarbs Farm West Drayton UB8	Title: Proposed Elevations	Scale: 1:100 @ A3 Date: 05_2013 Drawing No.: 2688 - 14/MP
	Revision R3	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8643 2008	

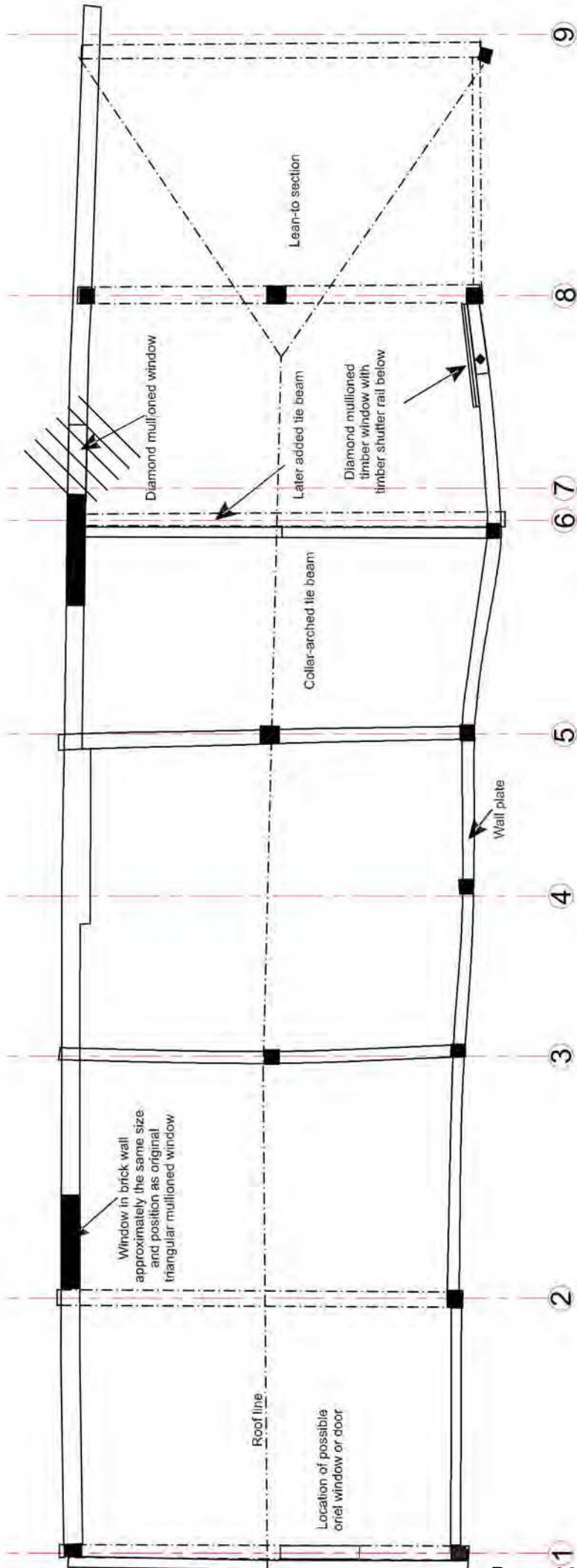




Note:
 Existing Plan shows the existing outline plan as issued by Penny Copeland & HP and based on survey dated August 2006 and shows the existing structure prior to any subsequent partial or complete collapse or dismantling of walls, or timber work
 For clarity only the main walls and framing are shown



	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Penny Copeland Survey Ground Floor Plan	Scale: 1:50 @ A3 Date: 05 2013 Drawing No.: 2688 - 016/MP							
	Revision <table border="1"> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>									
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Hubbard's Farm Lesser Barn: First Floor Plan
 Survey carried out by PEC & HP August 2006
 Dimensions for construction purposes to be checked on site

McCurdy & Co. Ltd. Manor Farm, Stanford Dingley, Reading, Berks. RG7 6LS
 Penny Copeland, Holmwood, Chapel Road, Swanmore, Hants. SO32 2QA

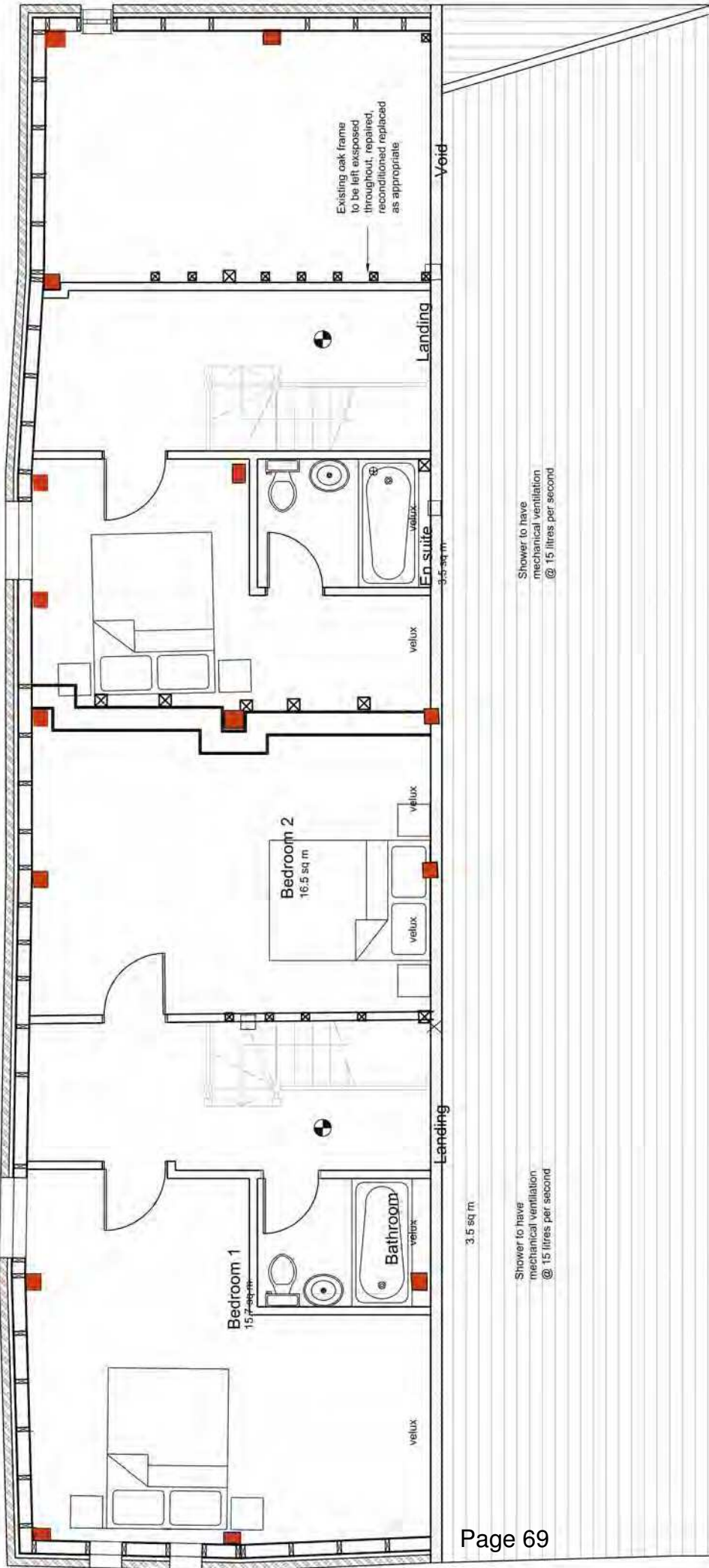
Key

- Structural post
- ▣ Brick
- ▤ Tie Beam
- ▥ Site of mullioned window

Note:
 Existing Plan shows the existing outline plan as issued by Penny Copeland & HP and based on survey dated August 2006 and shows the existing structure prior to any subsequent partial or complete collapse or dismantling of walls, or timber work
 For clarity only the main walls and framing are shown



	Project: Lesser Barn Hubbard's Farm West Drayton UB8	Title: Penny Copeland Survey First Floor Plan	Scale: 1:50 @ A3 Date: 05 2013 Drawing No.: 2688 - 017/MP							
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Note
 R3: Ex column & window positions amended.
 Wall construction amended

Note
 Position of existing timber posts are shown in approximate locations, and are base on McCurdy & Co site survey dated Feb 2014. On the completion of the dated workshop survey and remedial work report, the exact position of the columns will be finalised



	Project: Lesser Barn Huoburbs Farm West Drayton UB8	Title: Proposed First Floor Plan	Scale: 1:100 @ A3 Date: 04 2013 Drawing No.: 2688 - 04/MP
	Revision R3		Revision R3
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Trench Foundations

750mm x 600mm trench fill foundations, concrete mix to conform to BS EN 206-1 and BS 8500-2. All foundations to be a minimum of 1000mm below ground level, exact depth to agreed on site with Building Control Officer to suit site conditions. All constructed in accordance with 2004 Building Regulations A1/2 and BS 8004:1986 Code of Practice for Foundations. Ensure foundations are constructed below invert level of any adjacent drains. Base of foundations supporting internal walls to be min 600mm below ground level. Suitable resistant cement to be used if required. Please note that should any adverse soil conditions or difference in soil type be found or any major tree roots in excavations, the Building Control Officer is to be contacted and the advice of a structural engineer should be sought.

Timber Suspended Floor

Ground preparation - Remove top soil and vegetation, apply total weed killer and 150mm min thick sand blinded hardcore, then either -
 (i) Provide concrete ground cover of at least 100mm thick or
 (ii) Prepare the ground to an even surface and lay a ground cover of concrete at least 50mm thick, on a damp-proof membrane of at least 1200 gauge polyethylene, laid on a bed of fine blinding material.
 Floor construction - min 20mm tongue and groove softwood boards or moisture resistant particle/chipboard grade type C4 to BS EN 312:2010 as required. Lay with staggered joints on 50mm x 200mm C24 grade soft wood joists at maximum 400mm centres, max span 4.83m. Joists to be supported off proprietary galvanized joist hangers built into new masonry walls or fixed to treated timber wall plates resin bolted to walls at 800mm centres. If required, floor joists also to be supported on 100mm x 50mm treated wall plates and DPC fixed to masonry honeycombed sleeper walls built on thickened oversite concrete. Joists to be filled with 110mm Celotex XR4000 fixed with Celotex clips. The top surface of the ground cover under the building shall be above the finished level of the adjoining ground. The underside of the floor joists are not to be less than 150mm above the top of the ground cover. The underside of any wall plate is to be not less than 75mm above the top of the ground cover.

Ventilation of Floor

Provide cross-ventilation under floor to outside air by ventilators in at least 2 opposite external walls of the building. Ventilation openings having an opening area of 1500mm² per metre run of perimeter wall or 500mm² per square metre of floor area whichever gives the greater opening area. All sleeper walls or similar under floor obstructions shall be of honeycombed construction or have similar provision for distribution of ventilation. The under floor space shall be free from debris. Durts to be sealed using gas proof tap if they pass through the radon barrier.

Walls Below Ground

All new walls to have Class A blockwork below ground level or alternatively semi engineering brickwork in 1.4 masonry cement or equal approved specification. Cavities below ground level to be filled with lean mix concrete min 225mm below damp proof course. Or provide lean mix backfill at base of cavity wall (150mm below damp course) laid to fall to weepholes.

Timber Frame Wall

To achieve minimum U Value of 0.28W/m²K
 Cedar weatherboarding vertically on 25 x 38mm preservative-treated battens (provide counter battens to ensure vented and drained cavity if required) fixed to breathable membrane (having a vapour resistance of not more than 0.6 MNs/g) and 12mm thick W.B.P external quality plywood sheathing (or other approved). Ply fixed to treated timber frame studs (conducted using: 100mm x 50mm head and sole plates and vertical studs (with nogging) at 400mm cts or to s/engineer's details and calculations. Insulation between and over studs: 60mm Celotex GA4000 between plus 37.5mm Celotex PL4000 insulated plasterboard over with VCL, fixed to internal face of insulation. Finish with 3mm skim coat of finishing plaster. All junctions to have water tight construction, seal all perimeter joints with tape internally and with silicon sealant externally.

Partial Fill Cavity Wall

To achieve minimum U Value of 0.28W/m²K
 Provide 103mm suitable facing brick. Ensure a 50mm clear residual cavity and provide 80mm Celotex CVA4000 insulation fixed to 100mm standard block internal leaf. K value 0.15 (Celcon Standard, Thermelite Shield, Toplite Standard.) Internal finish to be 13mm lightweight plaster or plasterboard on dabs. Walls to be built with 1:1.5 cement mortar.

Unvented Pitched Roof

Pitch 22-45°
 To achieve U-value 0.18 W/m²K
 Timber roof structures to be designed by an Engineer in accordance with NHBC Technical Requirement RS Structural Design. Calculations to be based on BS EN 1995-1-1. Suitable roofing tiles on 25 x 38mm galvanised sw treated battens on breathable sarking felt to relevant BSA Certificate. Supported on 50 x 200mm grade C24 rafters at max 400mm centres span to engineer's details. Rafters supported on 100 x 50mm treated sw wall plates. Allow min 20mm air space to allow for draps of breathable felt. Insulation to be 165mm Celotex XR4000 fixed between rafters. Fix 12.5mm foil backed plasterboard (joints staggered) and 5mm skim coat of finishing plaster to the underside of all ceilings using galvanized plasterboard rails.
 Restraint strapping - Ceiling joists tied to rafters (if raised collar roof consult structural engineer). 100mm x 50mm wall plate strapped down to walls. Ceiling joists and rafters to be strapped to walls and gable walls, straps built into cavity, across at least 3 timbers with nogging. All straps to be 1000 x 30 x 5mm galvanized straps or other approved to BSEN 845-1 at 2m centres.

Dpc

Provide horizontal strip polymer (hydro) damp proof course to both internal and external skins minimum 150mm above external ground level. New DPC to be made continuous with existing DPC's and with floor DPM. Vertical DPC to be installed at all reveals where cavity is closed.

Wall Ties

All walls constructed with stainless steel vertical twist type retaining wall ties built in at 750mm cts horizontally, 450mm vertically and 225mm cts at reveals and corners in staggered rows. Wall ties to be suitable for cavity width and in accordance with BS 5286-6:1:1996 and BS EN 845-1: 2003.

Cavities

Provide cavity trays over openings. All cavities to be closed at eaves and around openings using Thermabate or similar non combustible insulated cavity closers. Provide vertical DPCs around openings and abutments. All cavity trays must have 150mm upstands and suitable cavity weep holes (min 2) at max 900mm centres.

Roof Lights

Min U-value of 1.6 W/m²K.

Roof-lights to be double glazed with 16mm argon gap and soft low-E glass. Window Energy Rating to be Band C or better. Roof lights to be fitted in accordance with manufacturer's instructions with rafters doubled up to sides and suitable flashings etc.

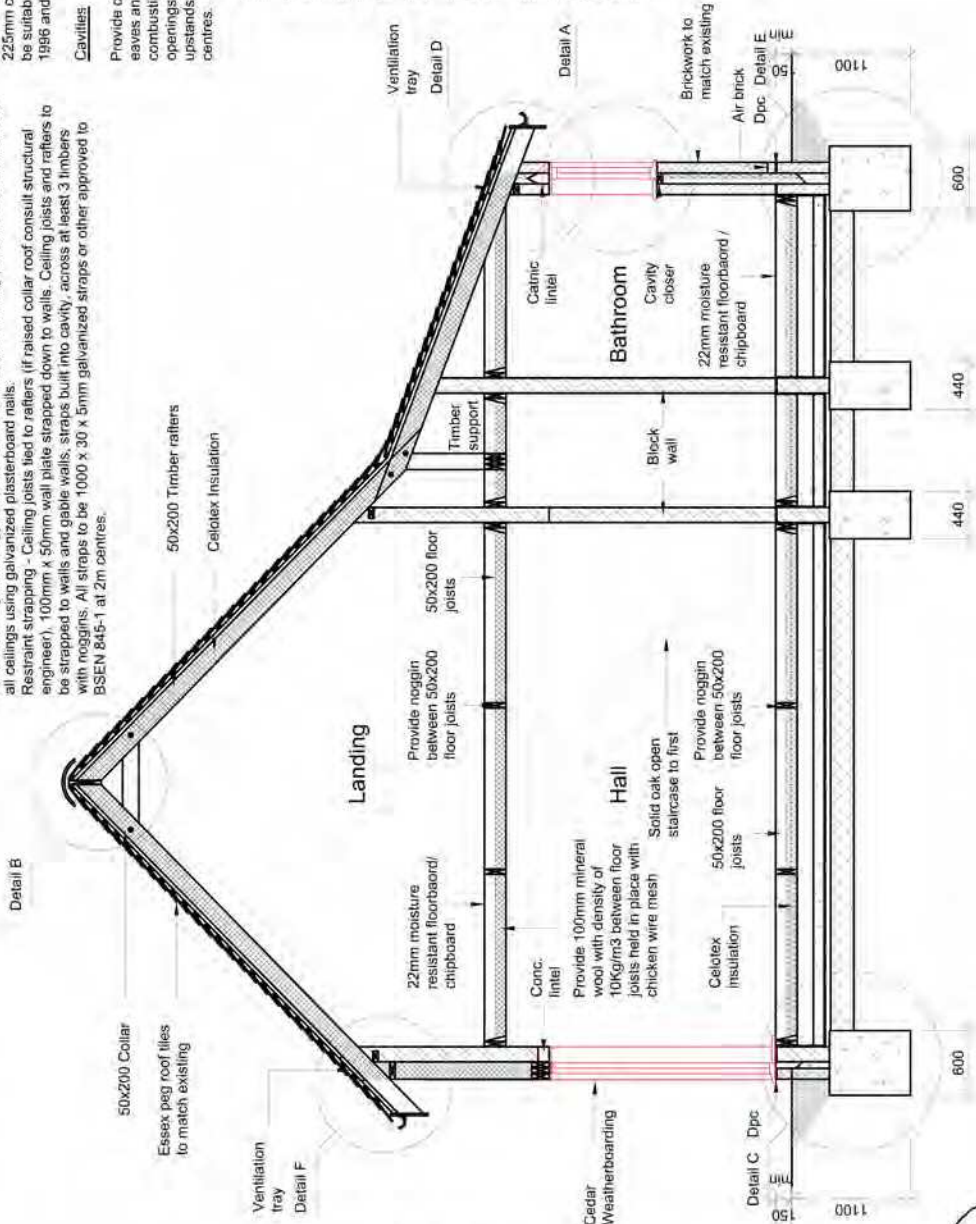
Windows

Windows to be double glazed with 16mm argon gap and soft coat low-E glass. Window Energy Rating to be Band C or better and to achieve U-value of 1.6 W/m²K.

Doors

Doors to achieve a U-value of 1.60W/m²K. Glazed areas to be double glazed with 16mm argon gap and soft low-E glass. Glass to be toughened or laminated safety glass to BS 6206; BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations.

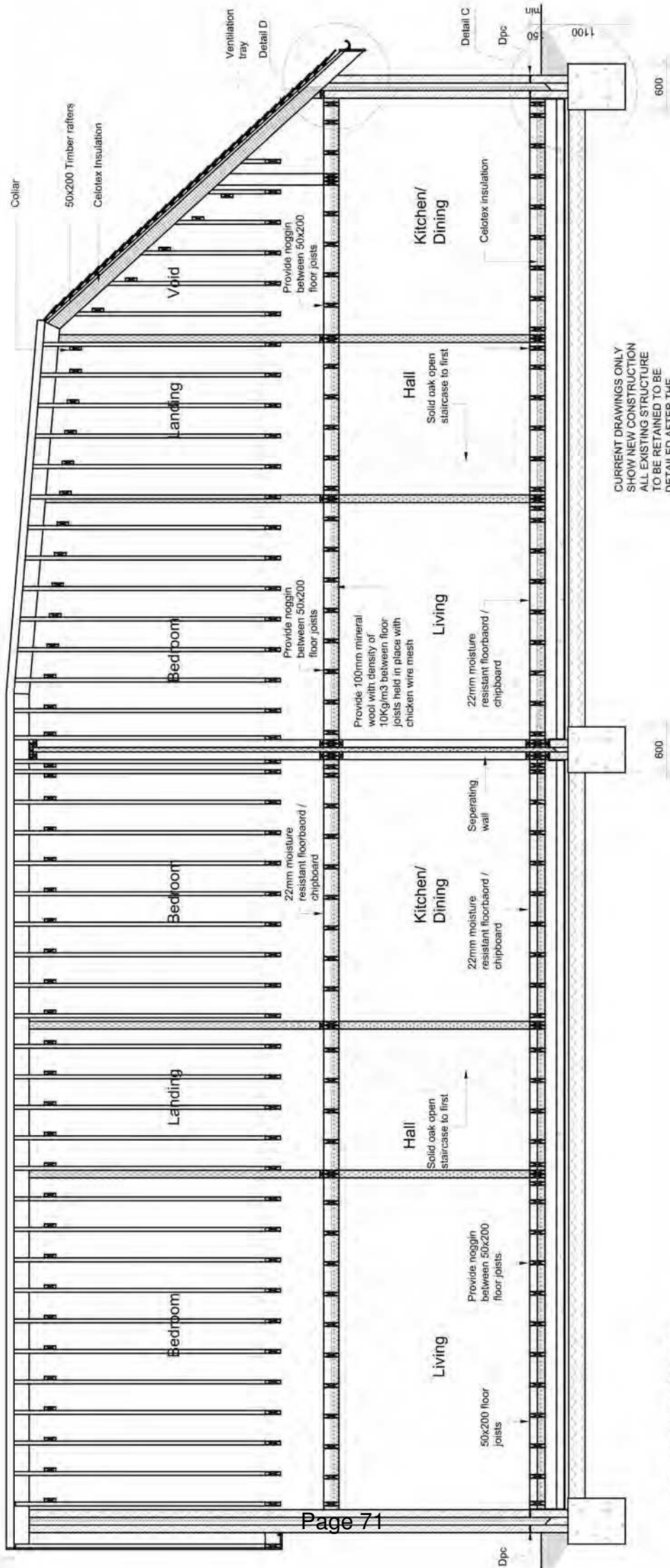
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Proposed Section A-A
 Scale 1:50



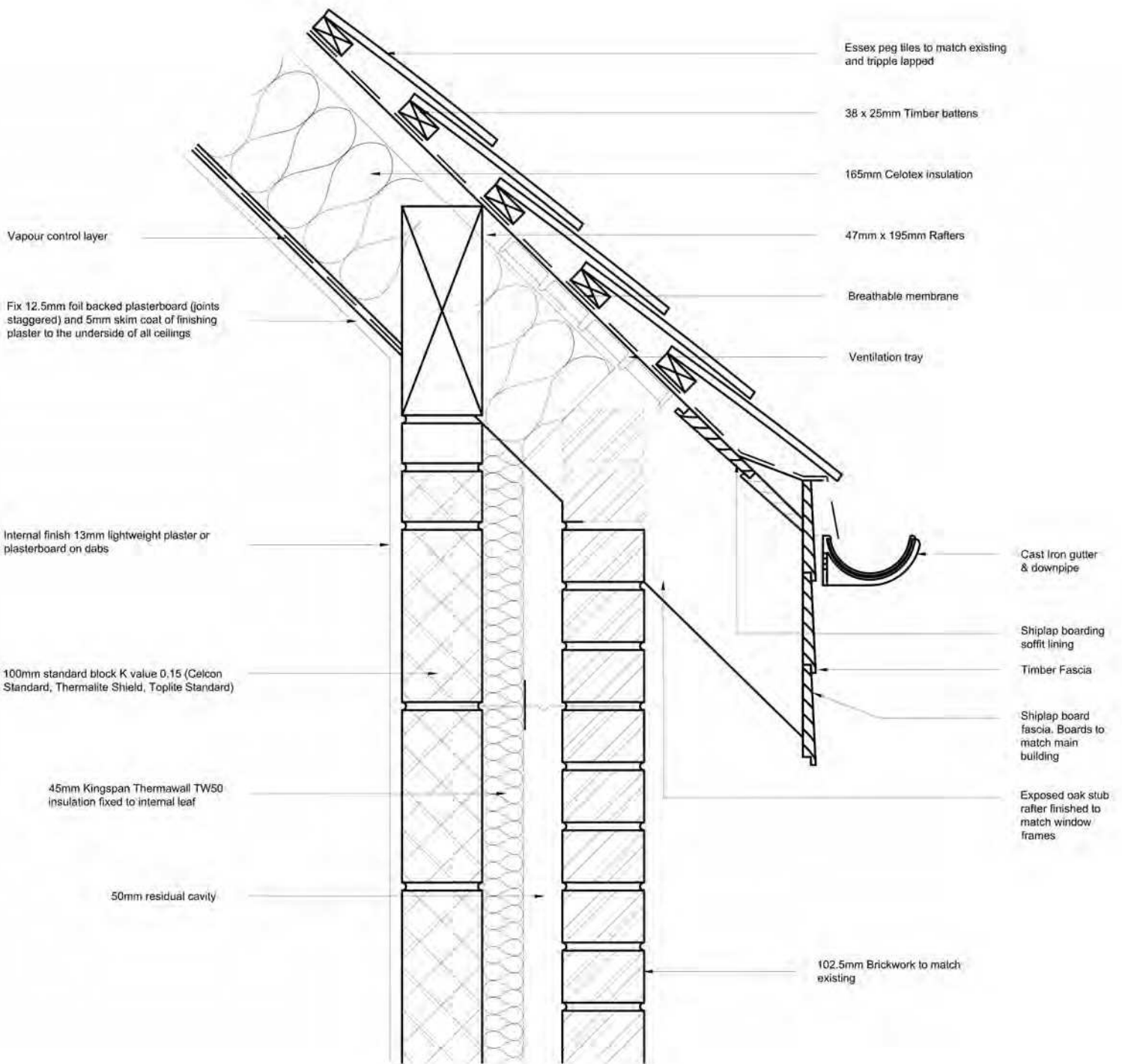
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	239 Western Road, Southall, Middx. UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		



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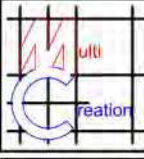
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	239 Western Road, Southall, Middx. UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		

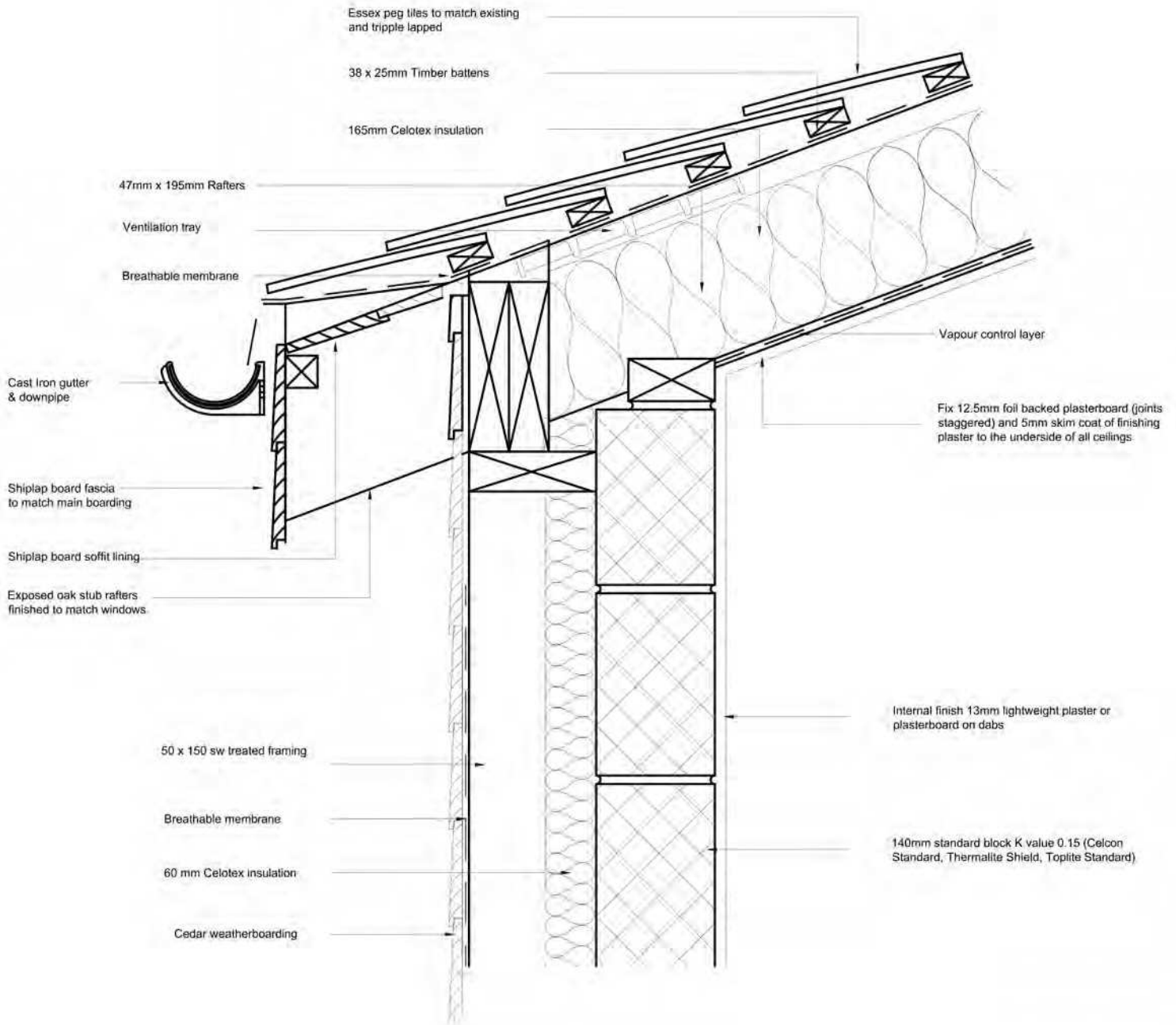
Proposed Section B-B
 Scale 1:50



Eaves Detail D
Scale 1:5

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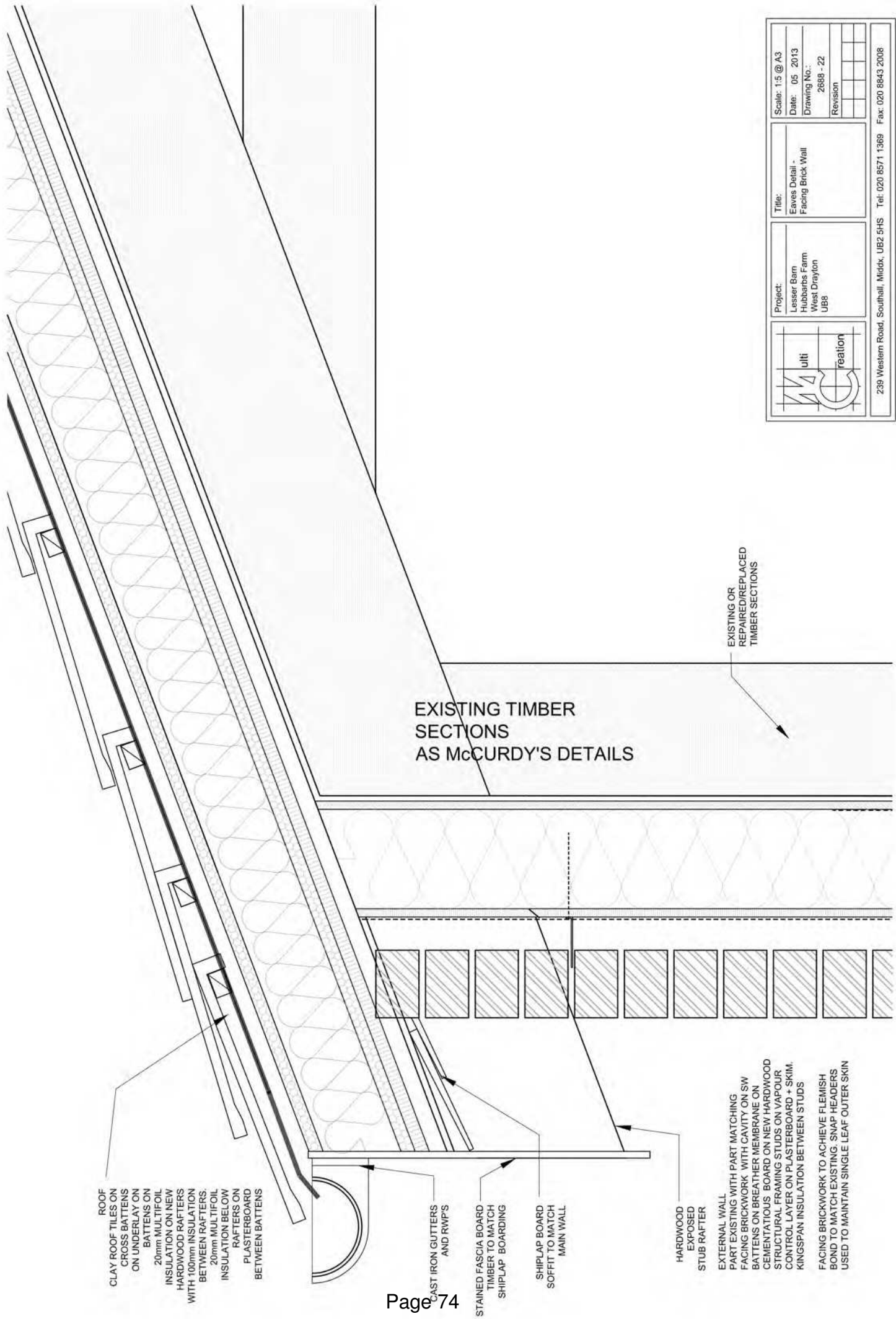
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	Lesser Barn Hubbarbs Farm West Drayton UB8	Eaves Detail	Date: 04 2013
			Drawing No.: 2688 - 11/MP
			Revision R1
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Eaves Detail C
Scale 1:5

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	Project:	Title:	Scale: 1:5 @ A3
	Lesser Barn Hubbarbs Farm West Drayton UB8	Eaves Detail	Date: 04 2013
			Drawing No.: 2688 - 13/MP
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ROOF
 CLAY ROOF TILES ON
 CROSS BATTENS
 ON UNDERLAY ON
 BATTENS ON
 20mm MULTIFOIL
 INSULATION ON NEW
 HARDWOOD RAFTERS
 WITH 100mm INSULATION
 BETWEEN RAFTERS.
 20mm MULTIFOIL
 INSULATION BELOW
 RAFTERS ON
 PLASTERBOARD
 BETWEEN BATTENS

EXISTING TIMBER
 SECTIONS
 AS McCURDY'S DETAILS

EXISTING OR
 REPAIRED/REPLACED
 TIMBER SECTIONS

CAST IRON GUTTERS
 AND RWPS

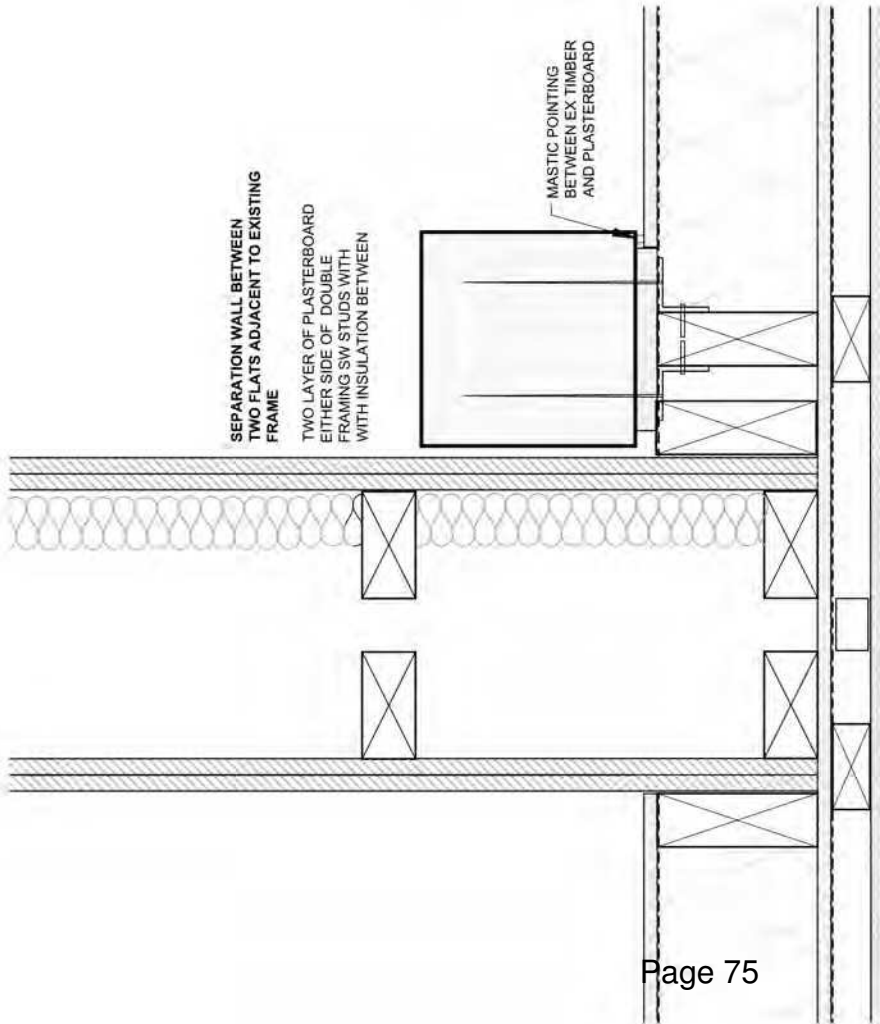
STAINED FASCIA BOARD
 TIMBER TO MATCH
 SHIPLAP BOARDING

SHIPLAP BOARD
 SOFFIT TO MATCH
 MAIN WALL

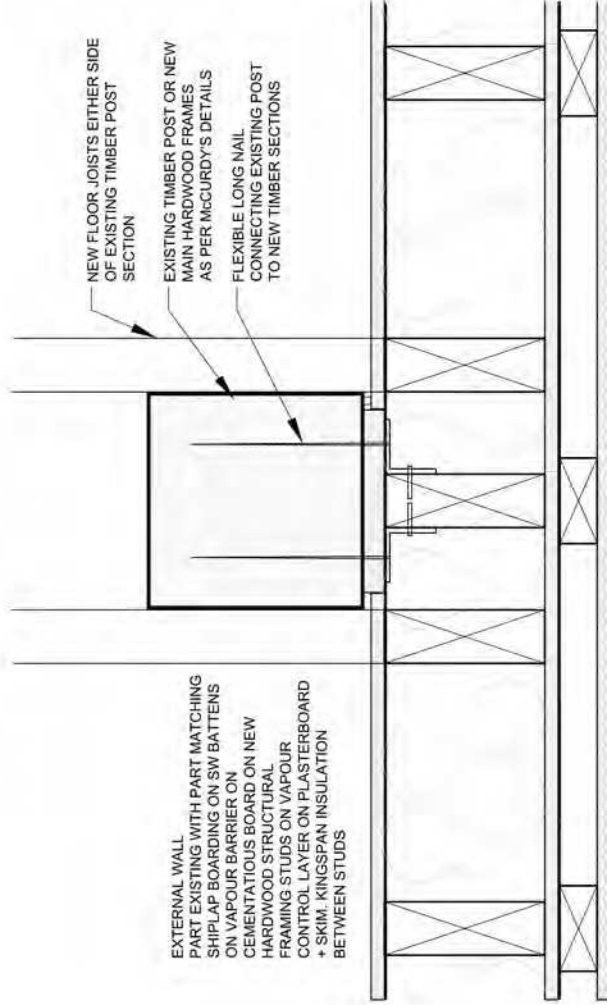
HARDWOOD
 EXPOSED
 STUB RAFTER

EXTERNAL WALL
 PART EXISTING WITH PART MATCHING
 FACING BRICKWORK WITH CAVITY ON SW
 BATTENS ON BREATHER MEMBRANE ON
 CEMENTIOUS BOARD ON NEW HARDWOOD
 STRUCTURAL FRAMING STUDS ON VAPOUR
 CONTROL LAYER ON PLASTERBOARD + SKIM.
 KINGSPAN INSULATION BETWEEN STUDS
 FACING BRICKWORK TO ACHIEVE FLEMISH
 BOND TO MATCH EXISTING. SNAP HEADERS
 USED TO MAINTAIN SINGLE LEAF OUTER SKIN

	Project:	Lesser Barn Hubbarbs Farm West Drayton UB8	Title:	Eaves Detail - Facing Brick Wall	Scale: 1:5 @ A3
	Date:	05 2013	Revision		
	Drawing No.:	2688 - 22			
239 Western Road, Southall, Middx, UB2 5HS		Tel: 020 8571 1368		Fax: 020 8843 2008	

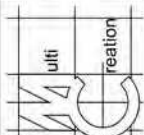


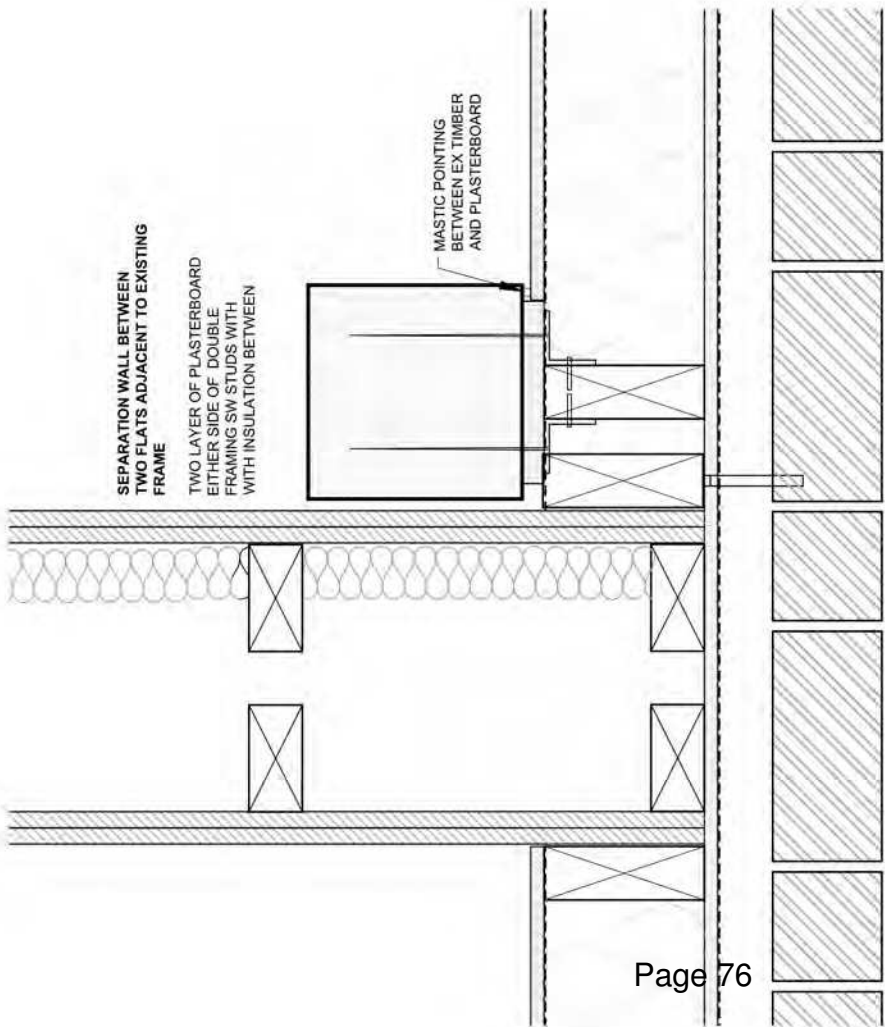
EXTERNAL WALL
 PART EXISTING WITH PART MATCHING
 SHIPLAP BOARDING ON SW BATTENS ON
 VAPOUR BARRIER ON CEMENTATIIOUS
 BOARD ON NEW HARDWOOD STRUCTURAL
 FRAMING STUDS ON VAPOUR CONTROL LAYER
 ON PLASTERBOARD + SKIM.
 KINGSPAN INSULATION BETWEEN STUDS



1. Party Wall / Existing Timber Post Junction Timber Clad Wall

2. Typical External Wall / Existing Post Junction Timber Clad Wall

	Project: Lesser Barn Huoburbs Farm West Drayton UB8	Title: External Wall Details Timber Clad Wall	Scale: 1:5 @ A3 Date: 05 2013 Drawing No.: 2688 - 20							
	Revision <table border="1"> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>									
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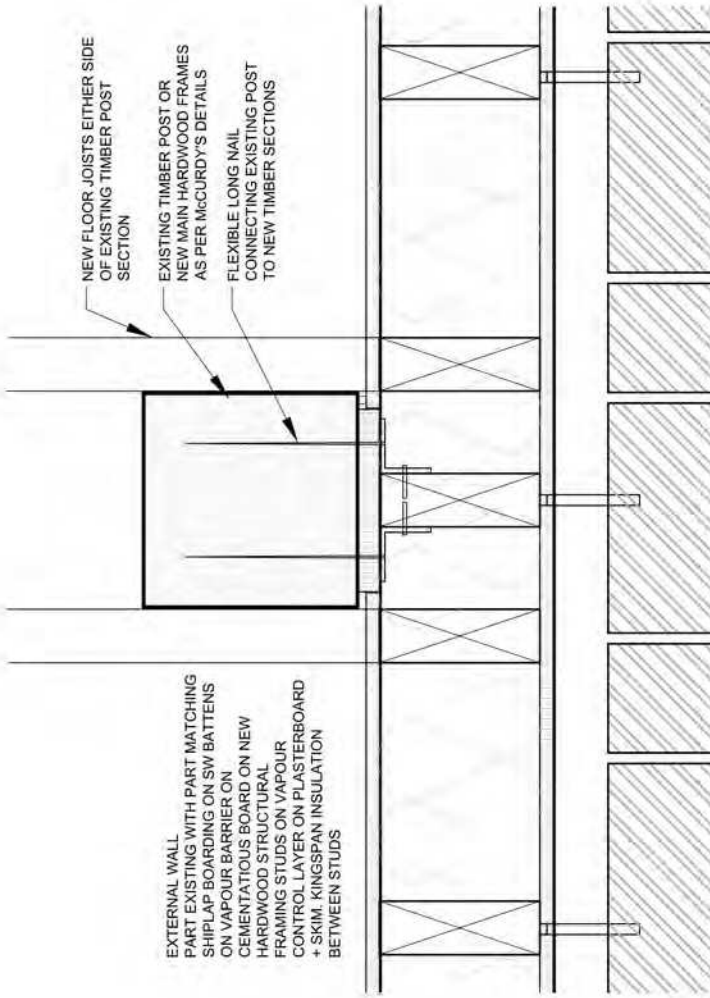
SEPARATION WALL BETWEEN
TWO FLATS ADJACENT TO EXISTING
FRAME

TWO LAYER OF PLASTERBOARD
EITHER SIDE OF DOUBLE
FRAMING SW STUDS WITH
INSULATION BETWEEN

MASTIC POINTING
BETWEEN EX TIMBER
AND PLASTERBOARD

EXTERNAL WALL
PART EXISTING WITH PART MATCHING
FACING BRICKWORK WITH CAVITY ON SW
BATTENS ON BREATHER MEMBRANE ON
CEMENTATIIOUS BOARD ON NEW HARDWOOD
STRUCTURAL FRAMING STUDS ON VAPOUR
CONTROL LAYER ON PLASTERBOARD + SKIM.
KINGSPAN INSULATION BETWEEN STUDS

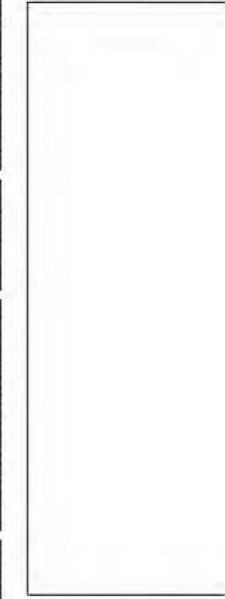
FACING BRICKWORK TO ACHIEVE FLEMISH
BOND TO MATCH EXISTING. SNAP HEADERS
USED TO MAINTAIN SINGLE LEAF OUTER SKIN

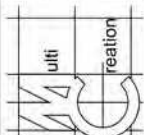


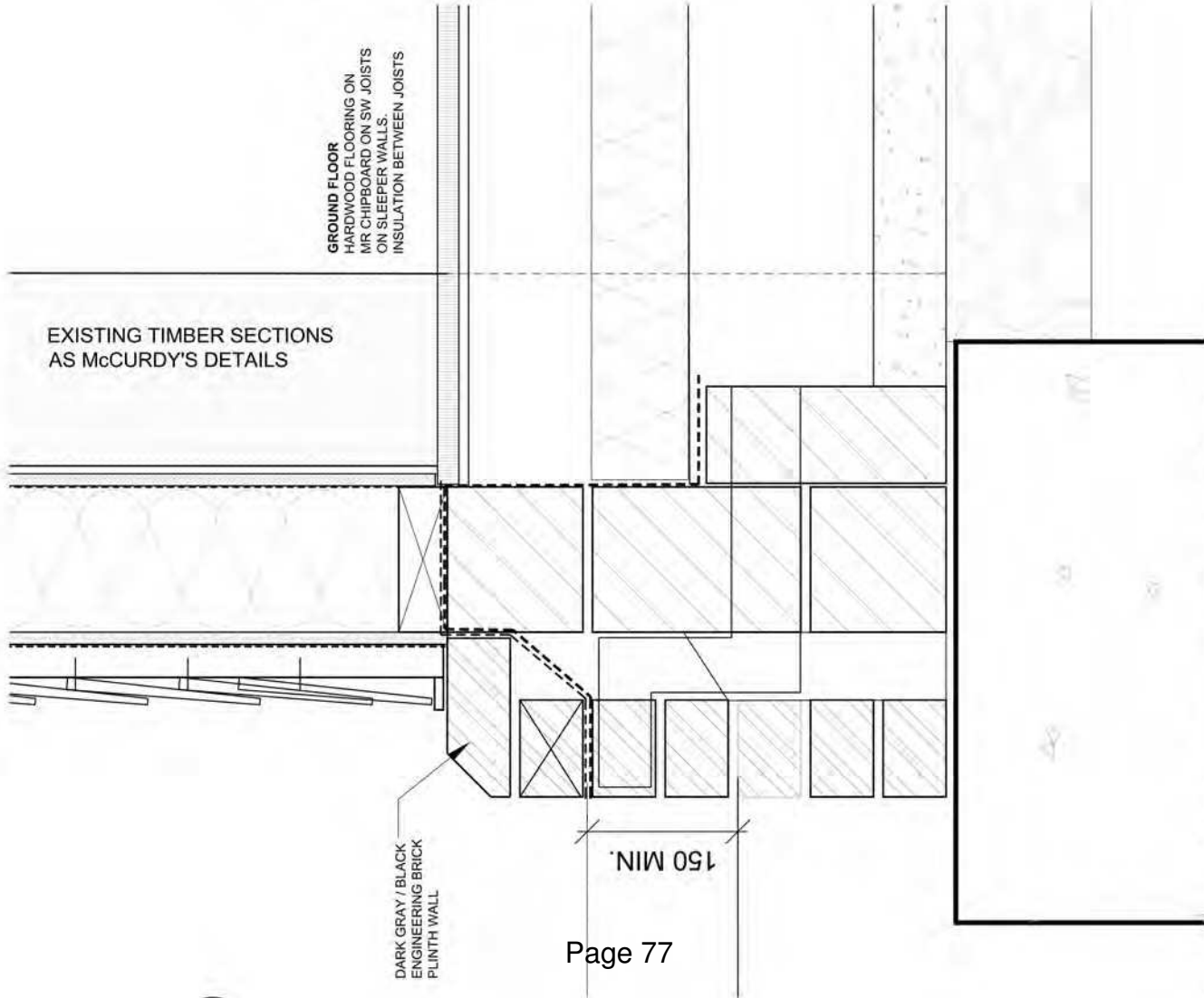
NEW FLOOR JOISTS EITHER SIDE
OF EXISTING TIMBER POST
SECTION

EXISTING TIMBER POST OR
NEW MAIN HARDWOOD FRAMES
AS PER MCCURDY'S DETAILS
FLEXIBLE LONG NAIL
CONNECTING EXISTING POST
TO NEW TIMBER SECTIONS

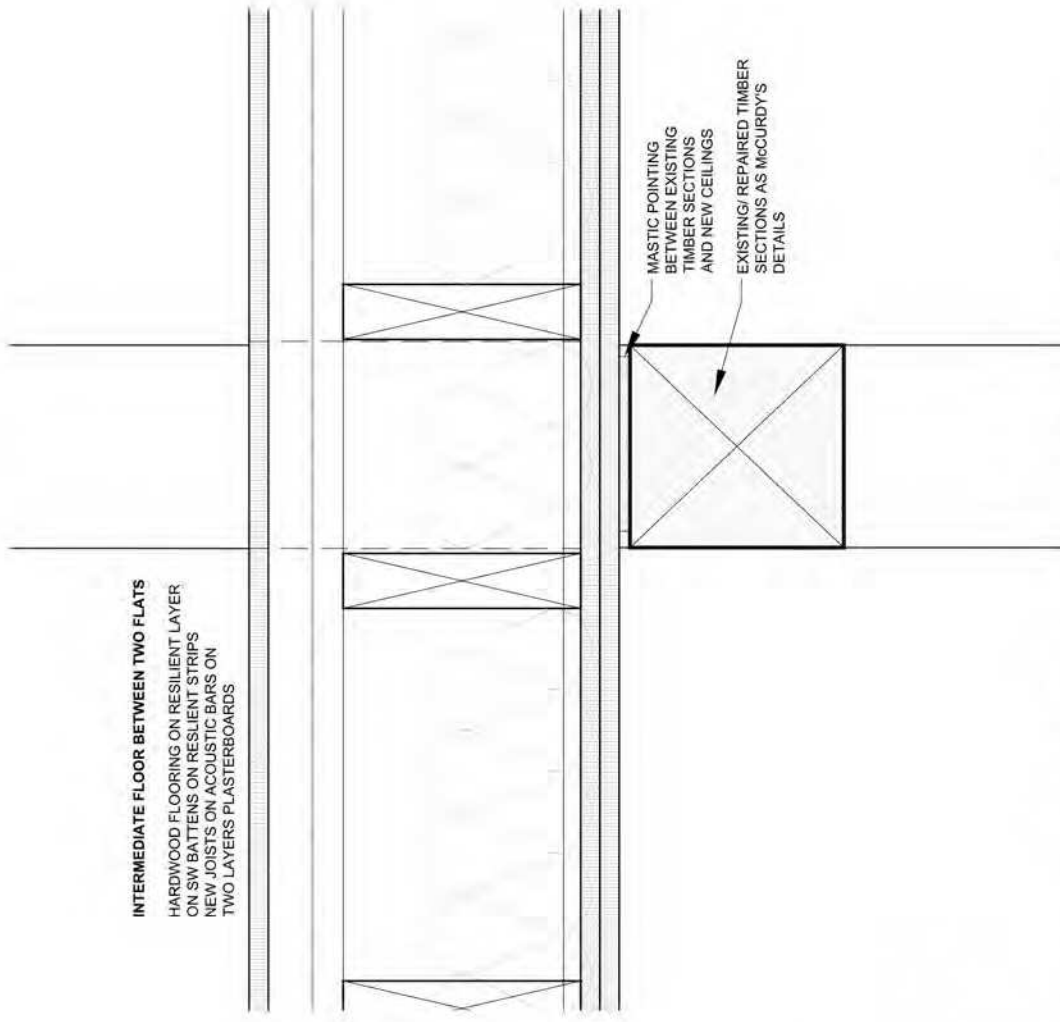
EXTERNAL WALL
PART EXISTING WITH PART MATCHING
SHIPLAP BOARDING ON SW BATTENS
ON VAPOUR BARRIER ON NEW
CEMENTATIIOUS BOARD ON NEW
HARDWOOD STRUCTURAL
FRAMING STUDS ON VAPOUR
CONTROL LAYER ON PLASTERBOARD
+ SKIM. KINGSPAN INSULATION
BETWEEN STUDS



	Project: Lesser Barn Hubbarbs Farm West Drayton UB8	Title: External Wall Details Facing Brick Wall	Scale: 1:5 @ A3 Date: 05 2013 Drawing No.: 2688 - 23			
	Revision <table border="1"> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>					
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008						

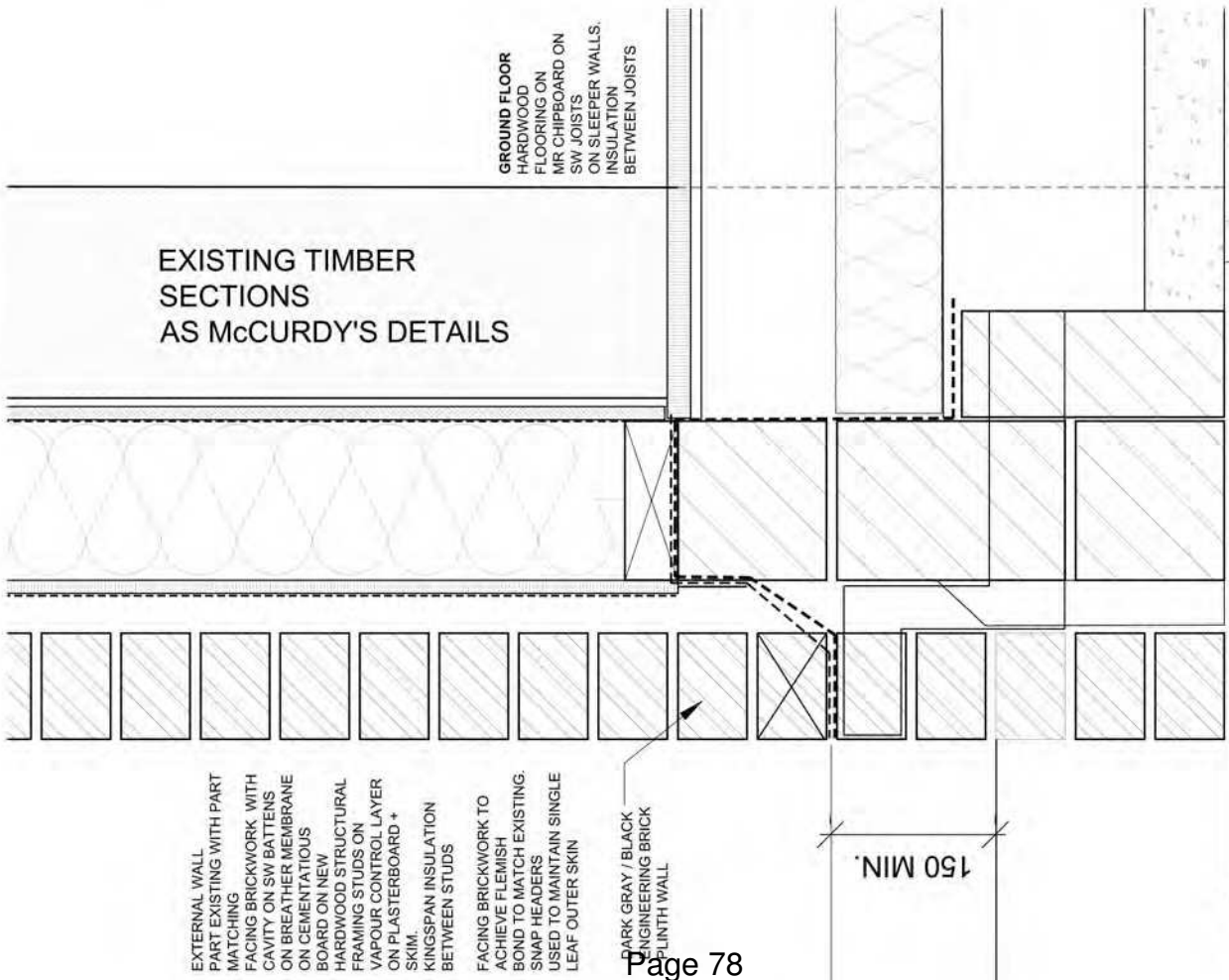
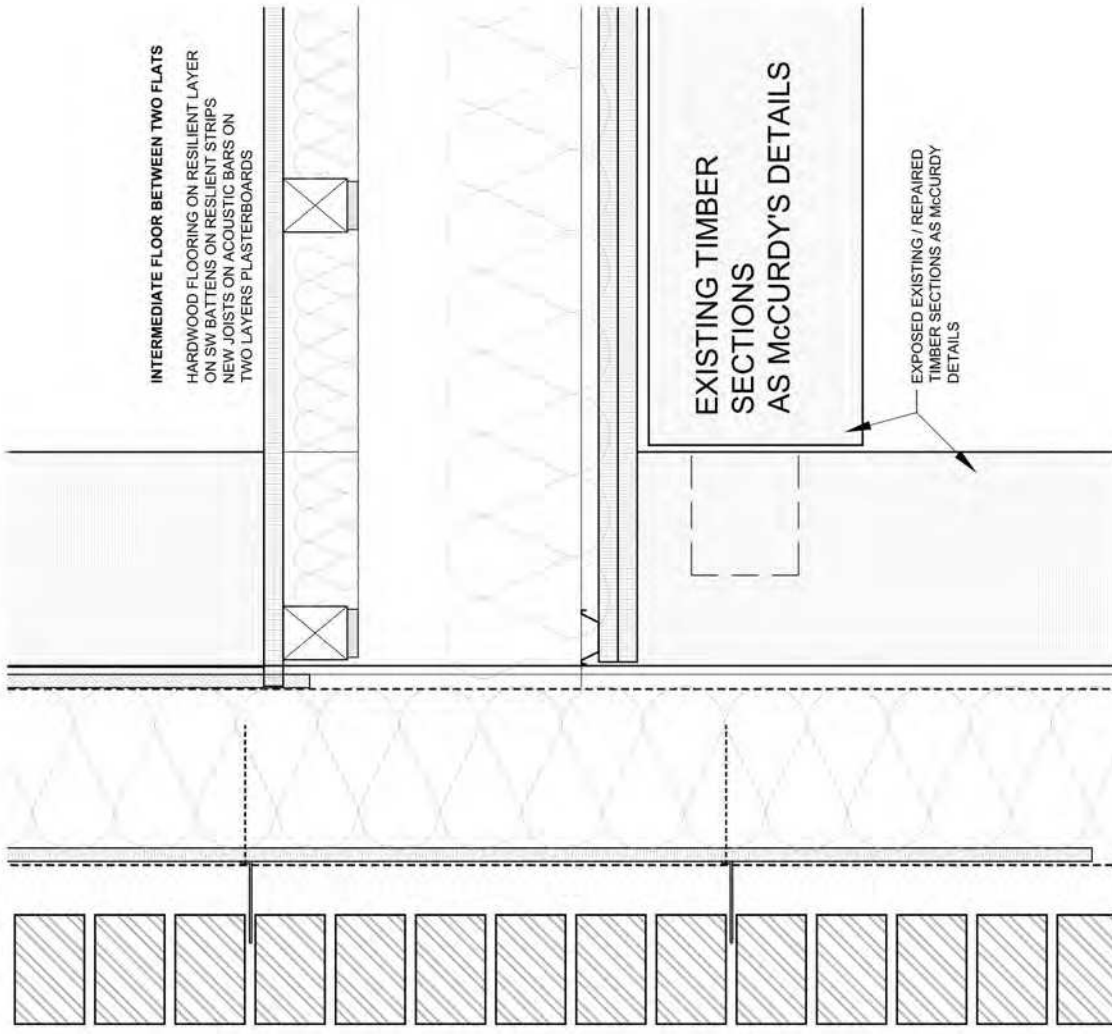


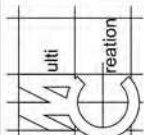
1. Foundation Detail - Timber clad Wall

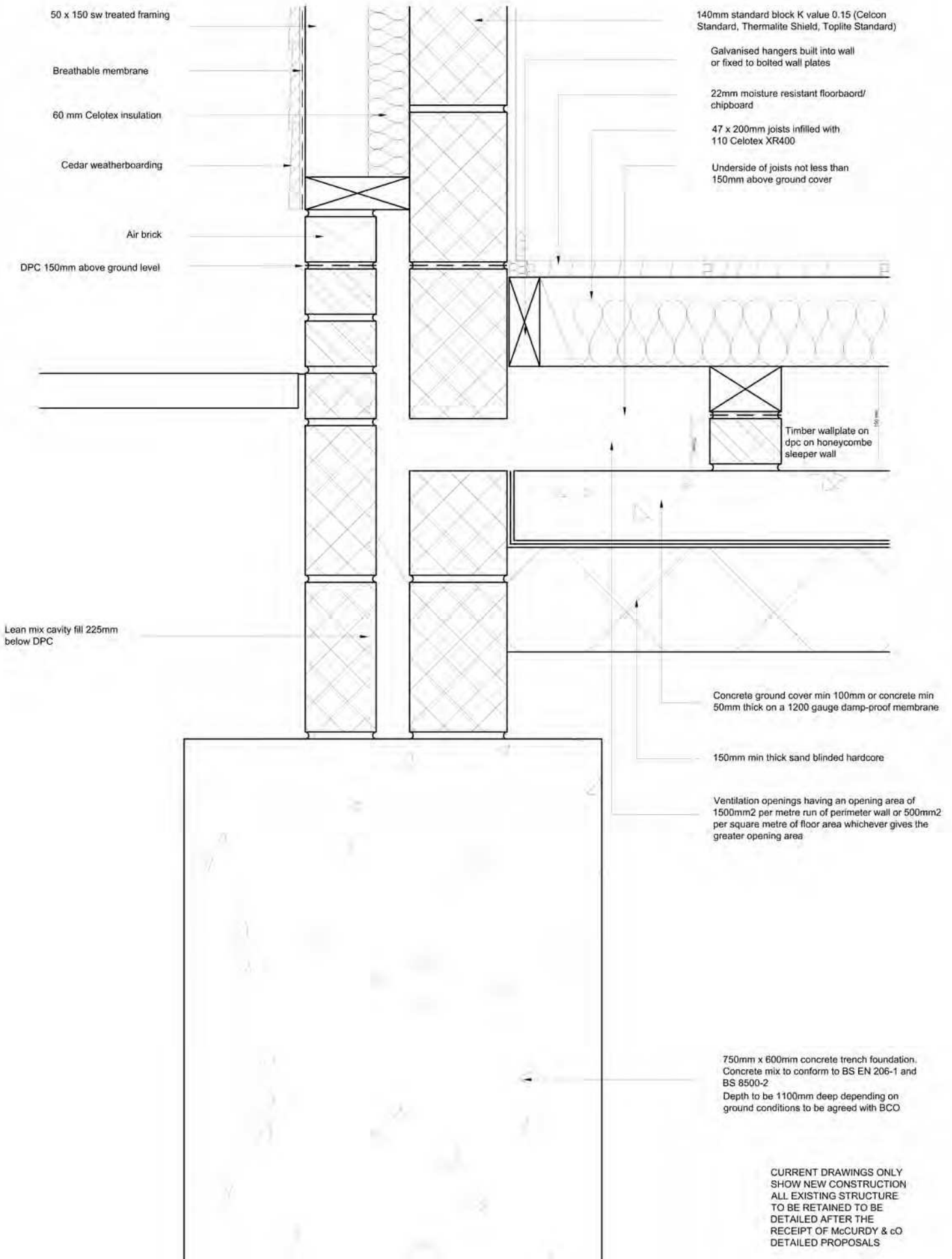


2. Intermediate Floor / Internal Beam Junction

	Project: Lesser Barn Huubarus Farm West Drayton UB8	Title: Foundation Detail Intermediate Floor Detail	Scale: 1:5 @ A3 Date: 05 2013 Drawing No.: 2688 - 19 Revision
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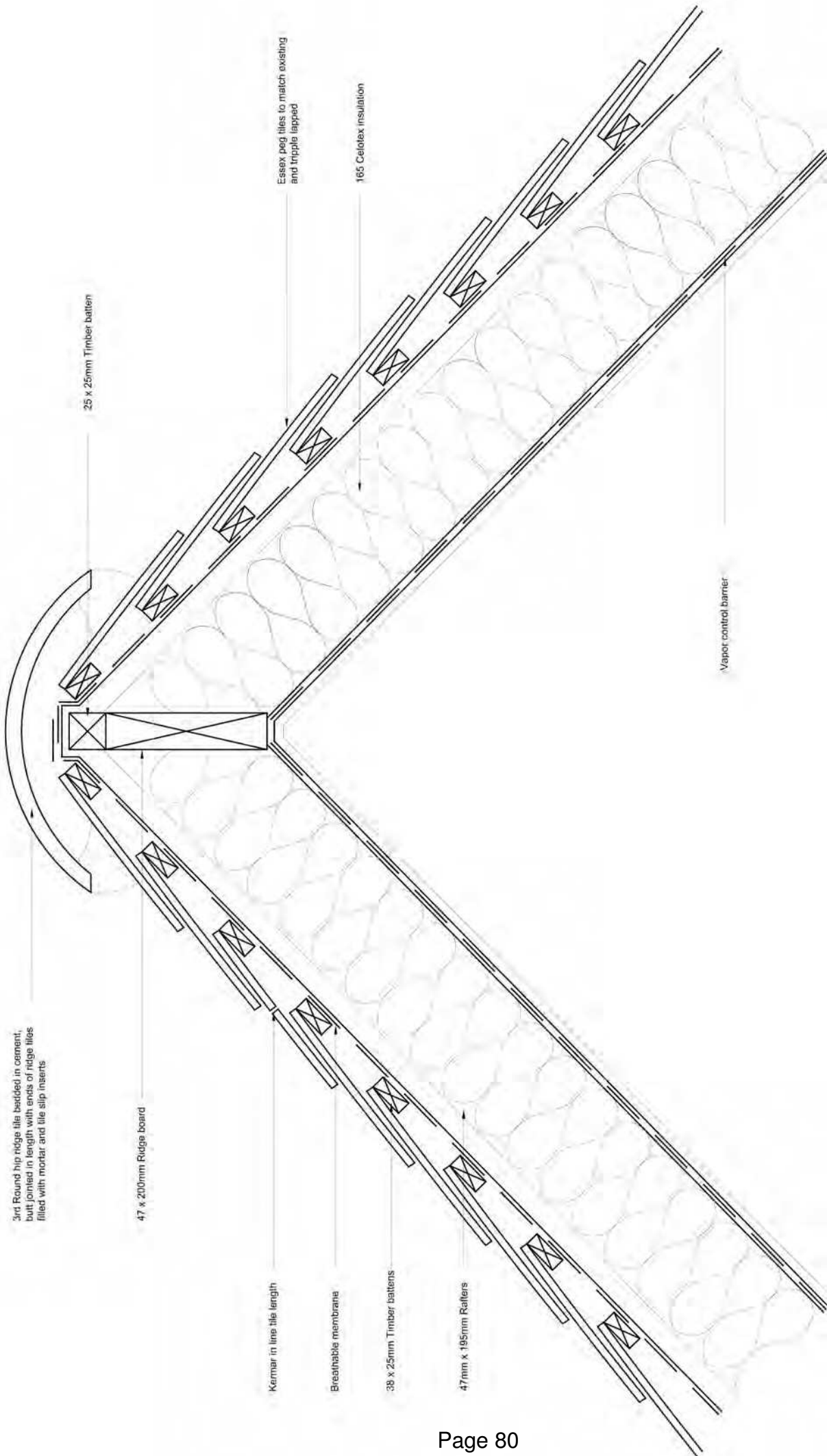


	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Foundation Detail Intermediate Floor Facing Brick Wall	Scale: 1:5 @ A3 Date: 05 2013 Drawing No.: 2688 - 24 Revision
	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		



Wall/ Floor Detail E
Scale 1:5

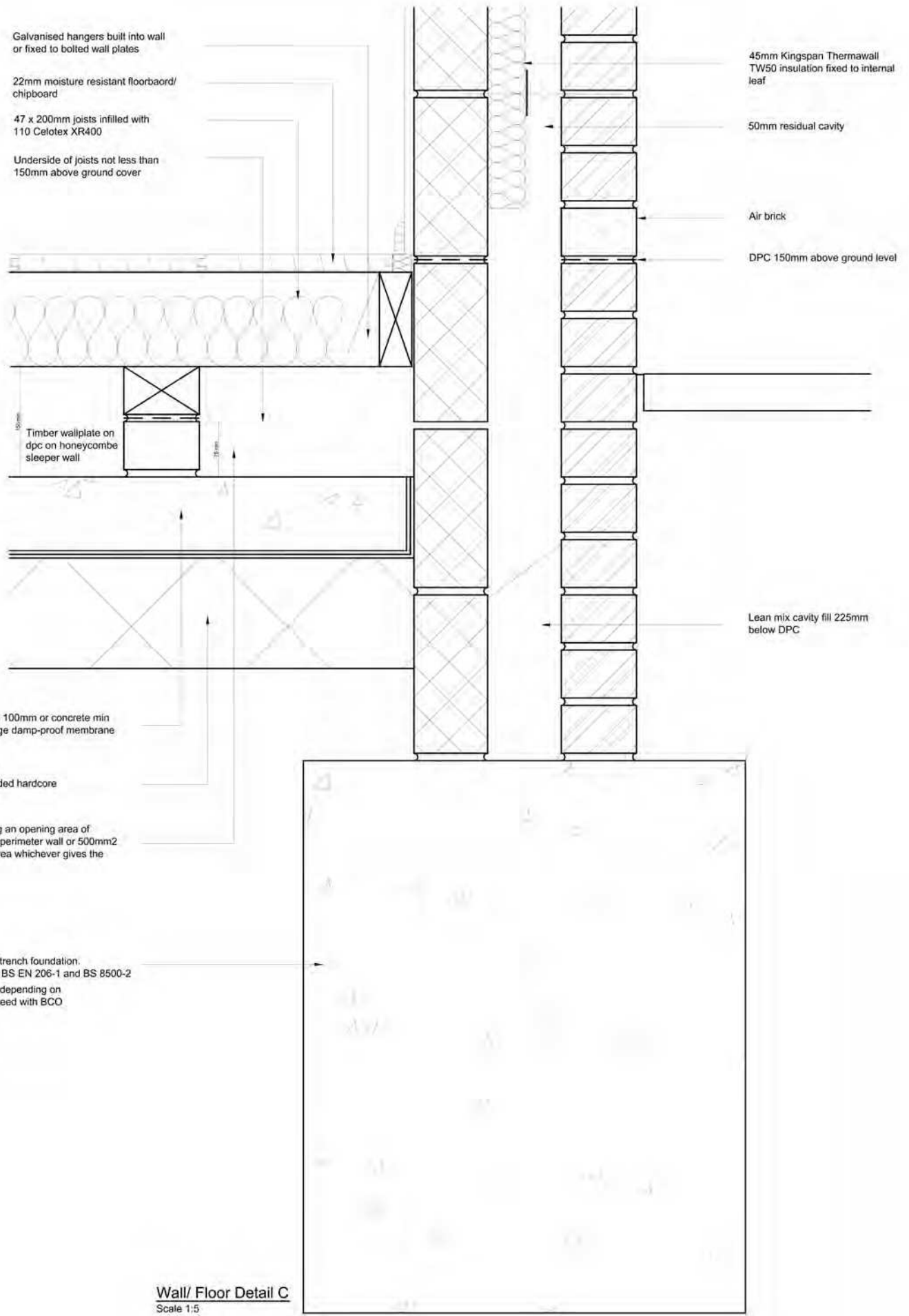
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	Lesser Barn Hubbarbs Farm West Drayton UB8	Foundation Detail	Date: 04 2013
			Drawing No.: 2688 - 12/MP
			Revision
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			



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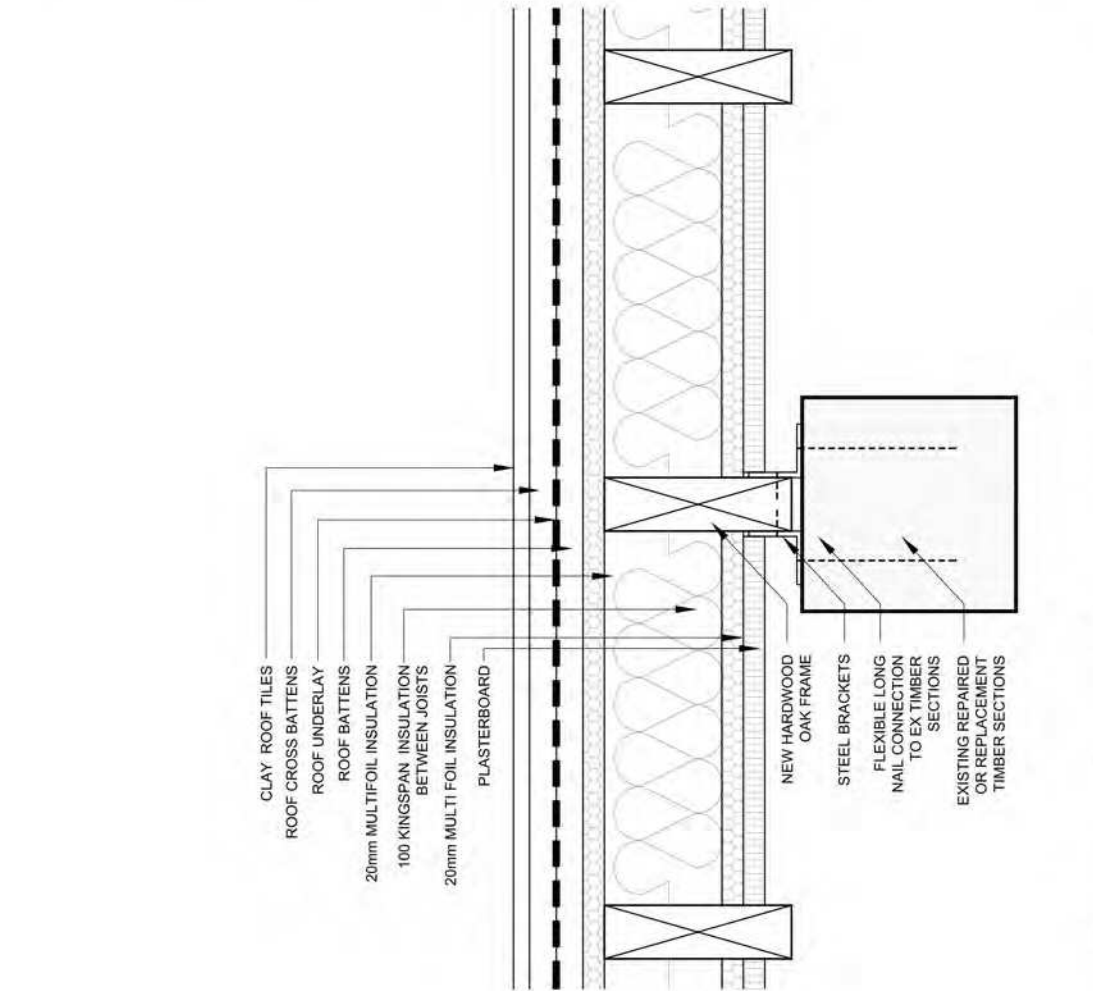
Ridge Detail B
 Scale 1:5

	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Ridge Detail	Scale: 1:5 @ A3
	Revision: 2888 - 09/MP	Drawing No.: 2888 - 09/MP	Date: 04 2013
239 Western Road, Southall, Middx, UB8 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			

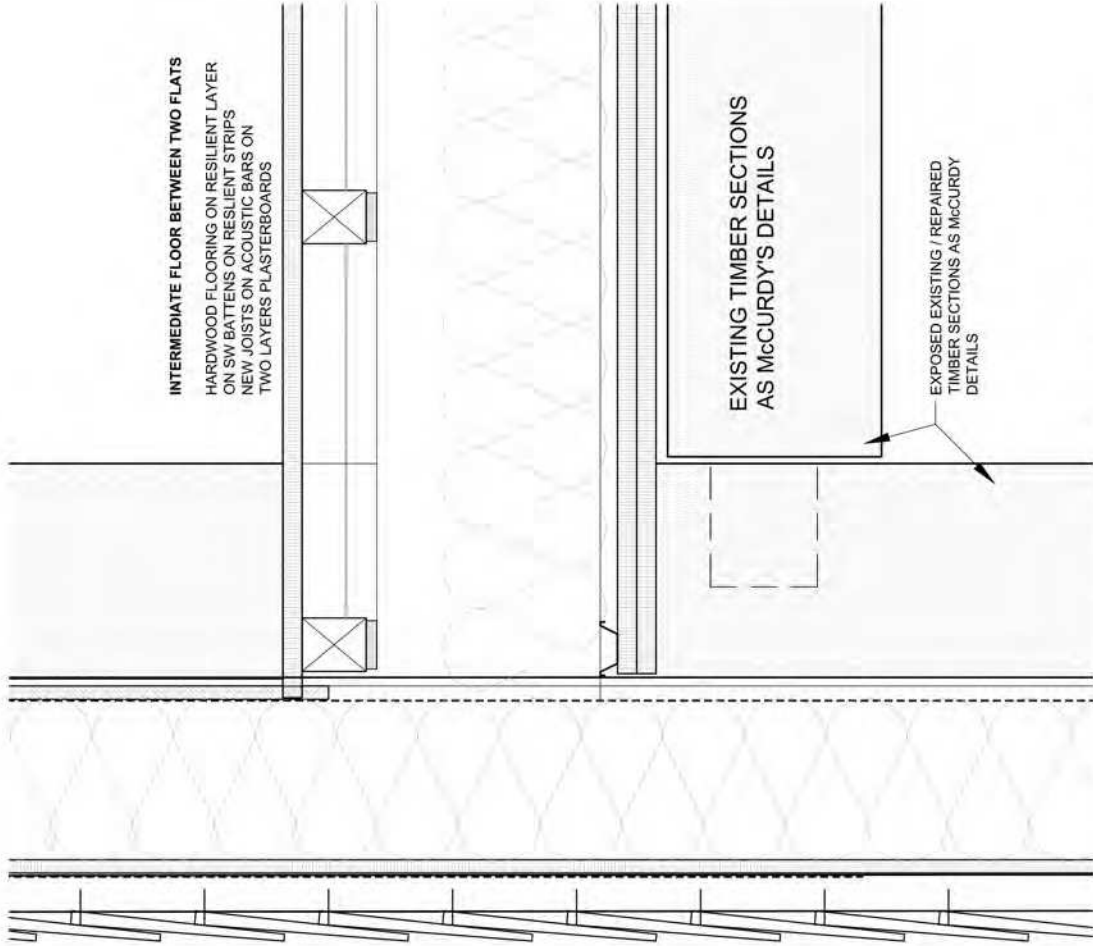


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	Project:	Lesser Barn Hubbarbs Farm West Drayton UB8	Title:	Foundation Detail	Scale: 1:5 @ A3										
	Date:	04 2013	Drawing No.:	2688 - 10/MP	Revision										
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239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008															

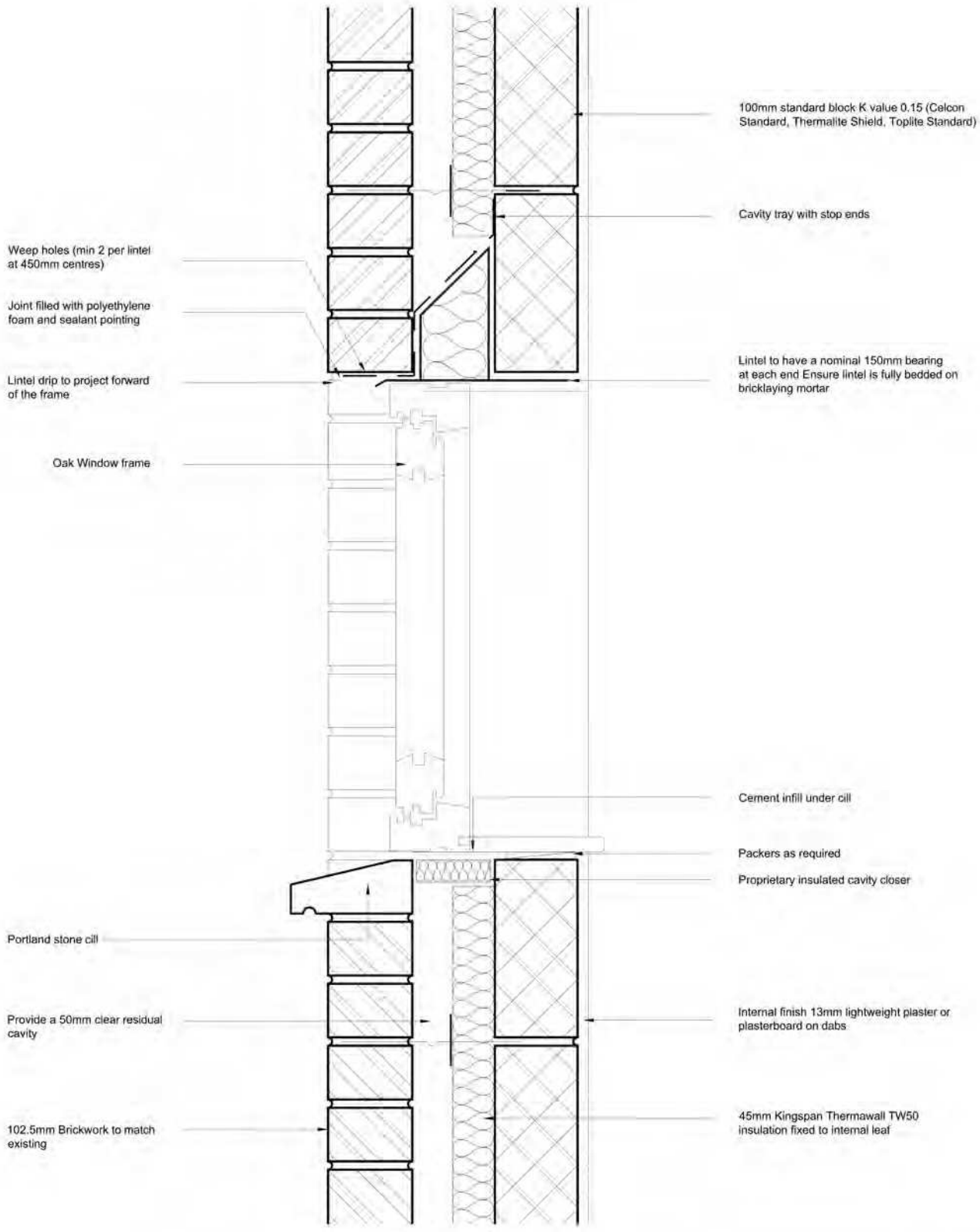


1. Section Through Roof Build Up



2. External Wall / intermediate Floor Junction

	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Roof Detail Floor / Wall Junction - Shiplap clad wall	Scale: 1:5 @ A3 Date: 05 2013 Drawing No.: 2688 - 18 Revision
	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1368 Fax: 020 8843 2008		



Weep holes (min 2 per lintel at 450mm centres)

Joint filled with polyethylene foam and sealant pointing

Lintel drip to project forward of the frame

Oak Window frame

100mm standard block K value 0.15 (Calcon Standard, Thermalite Shield, Toplite Standard)

Cavity tray with stop ends

Lintel to have a nominal 150mm bearing at each end Ensure lintel is fully bedded on bricklaying mortar

Cement infill under cill

Packers as required

Proprietary insulated cavity closer

Portland stone cill

Provide a 50mm clear residual cavity

Internal finish 13mm lightweight plaster or plasterboard on dabs

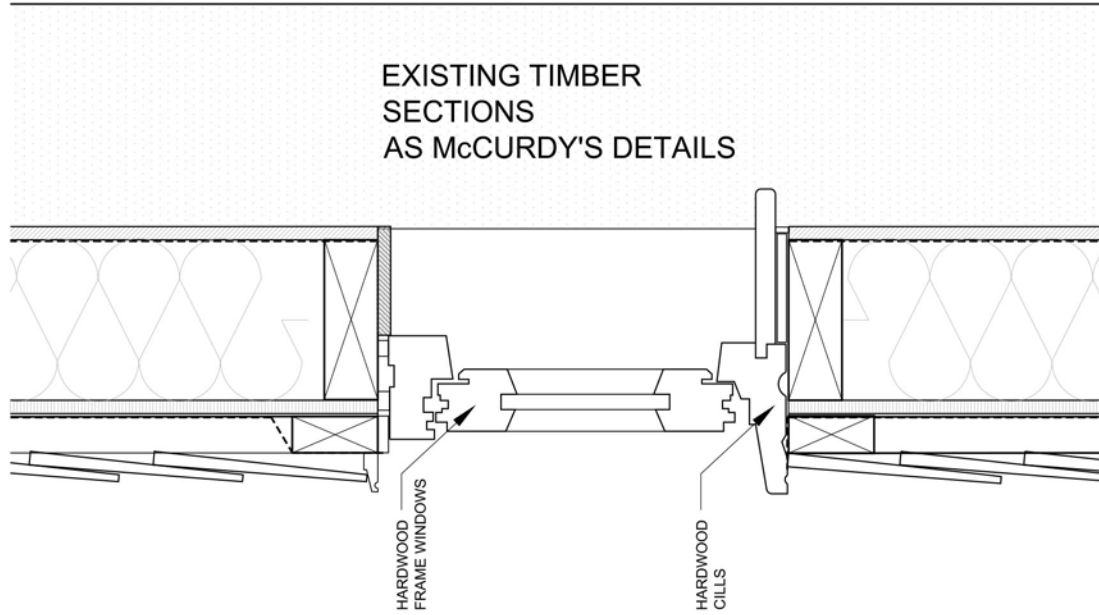
102.5mm Brickwork to match existing

45mm Kingspan Thermawall TW50 insulation fixed to internal leaf

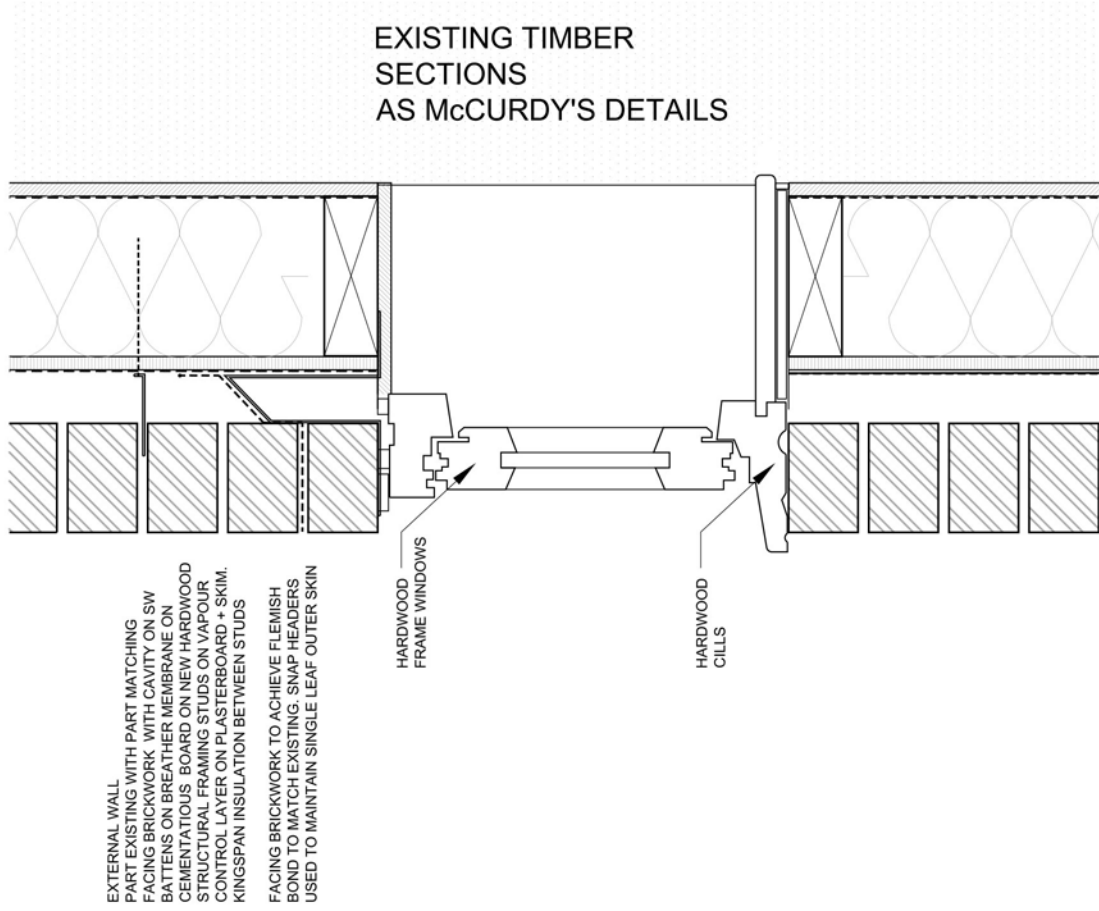
Window Detail A
Scale 1:5

CURRENT DRAWINGS ONLY SHOW NEW CONSTRUCTION ALL EXISTING STRUCTURE TO BE RETAINED TO BE DETAILED AFTER THE RECEIPT OF McCURDY & CO DETAILED PROPOSALS

	Project:	Title:	Scale: 1:5 @ A3
	Lesser Barn Hubbarbs Farm West Drayton UB8	Window Detail	Date: 04 2013
			Drawing No.: 2688 - 08/MP
			Revision R1
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			



1. Window Head & Cill Detail
Timber Clad Wall




EXTERNAL WALL
PART EXISTING WITH PART MATCHING
FACING BRICKWORK - WITH CAVITY ON SW
BATTENS ON BREATHER MEMBRANE ON
CEMENTIOUS BOARD ON NEW HARDWOOD
STRUCTURAL FRAMING STUDS ON VAPOUR
CONTROL LAYER ON PLASTERBOARD + SKIM.
KINGSPAN INSULATION BETWEEN STUDS
FACING BRICKWORK TO ACHIEVE FLEMISH
BOND TO MATCH EXISTING. SNAP HEADERS
USED TO MAINTAIN SINGLE LEAF OUTER SKIN

2. Window Head & Cill Detail
Facing Brick Wall

	Project: Lesser Barn Huubarbs Farm West Drayton UB8	Title: Window Head & Cill Wall Details	Scale: 1:5 @ A3 Date: 05 2013 Drawing No.: 2688 - 21							
	<table border="1"> <tr> <th>Revision</th> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> </table>			Revision						
Revision										
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008										



Notes

 Site boundary

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Site Address

**The Lesser Barn
 Hubbards Close
 Hillingdon**

**LONDON BOROUGH
 OF HILLINGDON**

**Residents Services
 Planning Section**

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:

5971/APP/2013/1839

Scale

1:1,250

Planning Committee

Central and South

Date

November 2014



HILLINGDON
 LONDON

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